

PROJECT INFORMATION:
251 SELBY LN, ATHERTON CA 94027
APN: 059-281-250

BUILDING ZONING: R-1A
BUILDING OCCUPANCY GROUP: R-3/U
FLOOD ZONE: BEAR GULCH INUNDATION AREA
NUMBER OF DWELLING UNITS: 2
JADU: 1
ADU: 1
STORIES: 2 + BASEMENT
COVERED PARKING SPACES: 2
UN-COVERED PARKING: 3
FIRE SPRINKLERS: YES
LOT SIZE (GROSS): 1.26 ACRES (54,756 SQ. FT.)
LOT SIZE (NET): 1.13 ACRES (49,326 SQ. FT.)
NO. OF BEDROOMS: 8 BR / 11 BA

ZONING ORDINANCE DEVELOPING STANDARDS- R-1A

MAX. ALLOWED FLOOR AREA
(18% X 54,756 SQ. FT.) 9,866.00 SQ. FT.
MAX. ALLOWED 2ND FLOOR AREA
(7.5% X 54,756) 4,107.00 SQ. FT.
MAX. ALLOWED DETACHED ADU:
(EXCEPTION ADD. 800 SQ. FT.) 1,200.00 SQ. FT.
MAX. ALLOWED FRONT
ARBOR/TRELLIS: 120.00 SQ. FT.

MAX. HEIGHT MAIN STRUCTURE: 30'H
MAX. SIDE WALL HEIGHT MAIN STRUCTURE: 22'H
MAX. HEIGHT ACC. STRUCTURES: 10'H
MAX. SIDE WALL HEIGHT ACC. ST: 11'H
MAX. ARBOR/TRELLIS HEIGHT AT FRONT: 12'H
MAX. HEIGHT DETACHED ADU: 16'H

SETBACKS:
FRONT & REAR: 60'
SIDES: 40'
ACC. STRUCTURE FRONT (FROM FRONT PROPERTY LINE): 30'
ACC. STRUCTURE SIDE/REAR: 10'
SEPARATION BETWEEN STRUCTURES: 8'
ARBOR/FOUNTAIN FRONT: 20'

LOT COVERAGE: MAX COVERED PATIOS IS 5% OF 9,866 SQ. FT.
492.8 + 500 SQ. FT. = **992.8 SQ. FT.**

PROPOSED FLOOR AREAS & LOT COVERAGE
(SEE A-2 FOR DETAILED FAD PER TOWN'S ORDINANCE)

MAIN HOUSE - 1ST FLOOR: 6,042.1 SQ. FT.
MAIN HOUSE - JADU: 600.0 SQ. FT.
MAIN HOUSE - ADU EXEMPTION: 600.0 SQ. FT.
2ND FLOOR - MAIN HOUSE: 3,790.6 SQ. FT.
TOTAL MAIN HOUSE: 9,832.7 SQ. FT.

BASEMENT (EXEMPT): 3,666.4 SQ. FT.
DETACHED ADU: 1,196.0 SQ. FT.
DETACHED ADU EXEMPTION: 1,200.0 SQ. FT.
CARPORT (COVERED): 672.0 SQ. FT.
TOTAL BUILT AREA MAIN HOUSE: 13,989.1 SQ. FT.
TOTAL CONDITIONED AREA MAIN HOUSE: 12,884.0 SQ. FT.
(SEE A-2.1 FOR FAD CONDITIONED AND UNCONDITIONED)

SCOPE OF WORK

- DEMOLITION OF EXISTING POOL HOUSE AND POOL - SEE SHEETS A-0.1 & A-0.1.1
- FIRST FLOOR: 2 BRS, 3 BATH + JADU; LIVING ROOM, DINING ROOM, OFFICE, FAMILY ROOM, KITCHEN, PANTRY, MUD ROOM, LAUNDRY, GARAGE & POOL BATH.
- 2ND FLOOR: 4 BRS, 1.5 BATHROOMS, LOFT, LAUNDRY ROOM, DEN, SOUTH BALCONY & NORTH TERRACE
- BASEMENT: 1 BR, 1 BA, SPA, 1 BATHROOM, SAUNA, STEAM ROOM, GYM, GAME ROOM, WINE CELLAR, HOME THEATER, KITCHENETTE, SUNKEN PATIO & LIGHTWELLS
- SITE:
1. (IN) DRIVEWAY LAYOUT: TO INCLUDE NEW TURNAROUND/HAMMERHEAD
2. HARDSCAPE AREA

ACCESSORY STRUCTURES:
1. CARPORT - UNDER PLANNING COMMISSION REVIEW
2. POOL/SPA - UNDER A SEPARATE PERMIT
3. SPORTS COURT - UNDER A SEPARATE PERMIT
4. ARBOR - UNDER A SEPARATE PERMIT

DETACHED ADU:
1. ADU: 1196 SF, 2 BR/2BA - UNDER A SEPARATE PERMIT

- UTILITIES
- NEW ELECTRIC PANEL - 600 A (UNDERGROUND)
 - GAS METER RELOCATION
 - WATER METER UPGRADE AND NEW WATER LINE
 - NEW SEWER EJECTOR AND LINE
 - NEW STORM WATER SYSTEM
 - GENERATOR

APPLICABLE CODES:
CALIFORNIA BUILDING CODE / 2022
CALIFORNIA RESIDENTIAL CODE / 2022
CALIFORNIA MECHANICAL / 2022
CALIFORNIA ELECTRICAL CODE / 2022
CALIFORNIA PLUMBING CODE / 2022
CALIFORNIA FIRE CODE / 2022
CALIFORNIA ENERGY REGULATIONS (TITLE 24) 2022 CALIFORNIA GREEN BUILDING STANDARDS 2022

ALL WORK DESCRIBED HEREIN SHALL COMPLY WITH THE LATEST BUILDING CONSTRUCTION CODES AS ADOPTED OR AMENDED BY THE STATE OF CALIFORNIA AND THE TOWN OF ATHERTON

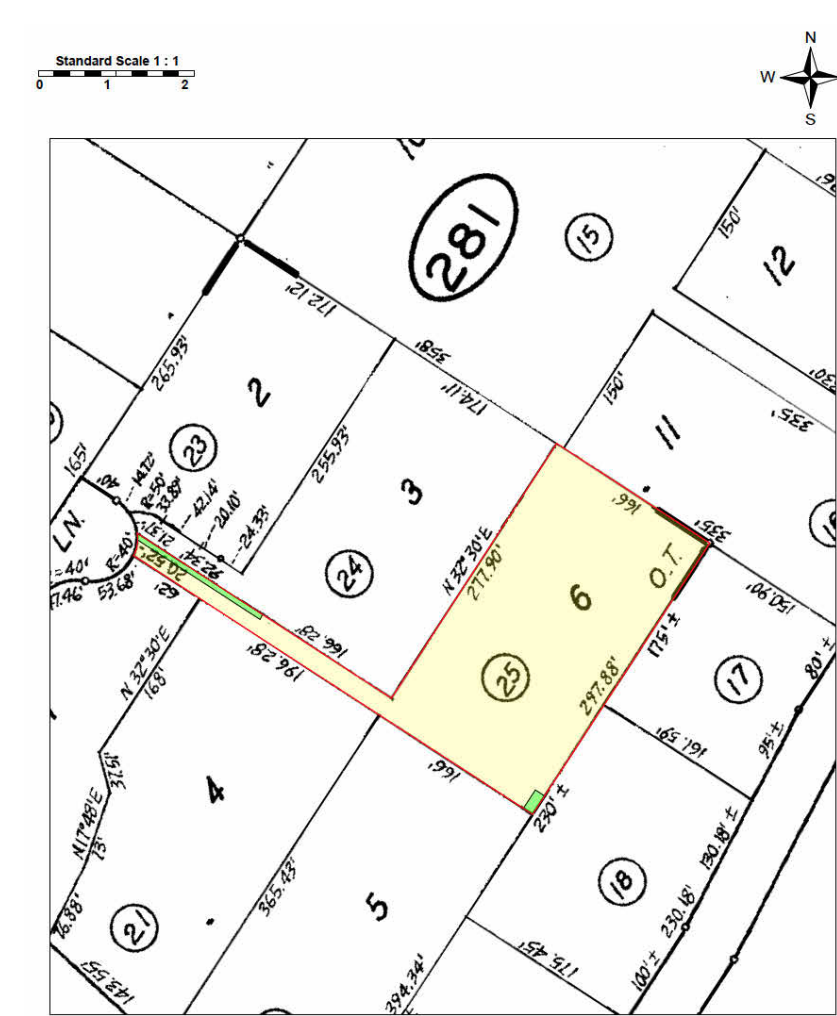
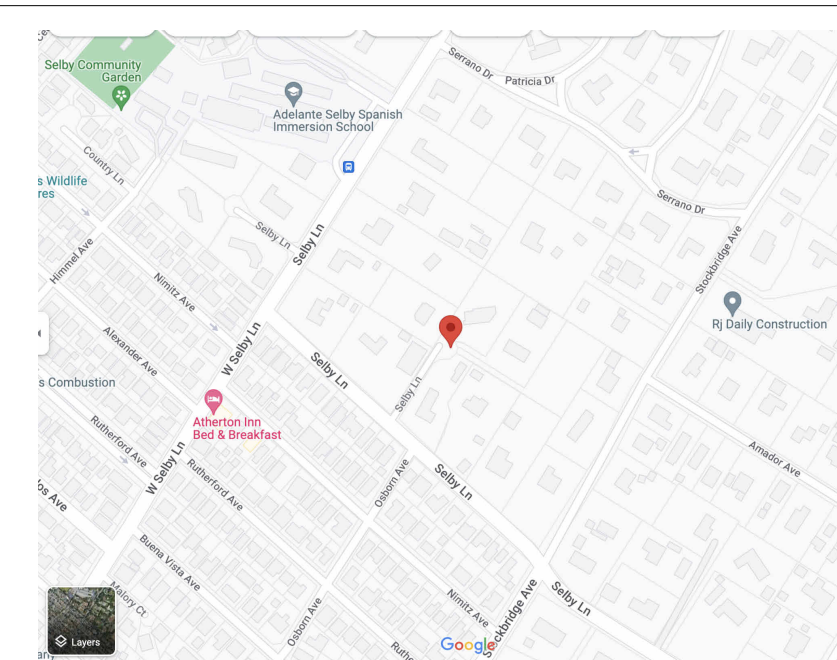
SPECIAL INSPECTIONS:

SEE SHEET A-0.8

DEFERRED PERMITS:

- FIRE SPRINKLERS: YES
WOOD TRUSSES: YES
POOL: YES
PV SYSTEM, BATTERIES AND GENERATOR: YES
METAL STAIRCASE AND RAILINGS

PROJECT INFORMATION. Copy 1
1/4" = 1'-0"



LEGEND:
Orange: Parcel (Per Property & Boundary)
Green: Lot (Per Property & Boundary)
Blue: Easement (Per Property & Boundary)

2 PARCEL AND VICINITY MAPS. Copy 1
1/4" = 1'-0"

#	SHEET #	SHEET NAME
200	AC-0	COVER SHEET - CARPORT
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202	AC-0.2	FLOOR AREA DIAGRAMS - CONDITIONED & UNCONDITIONED SPACE 1
203	AC-0.3	ARBORIST REPORT 1
204	AC-0.3.1	ARBORIST REPORT CONT. 1
205	AC-0.3.2	ARBORIST REPORT - CARPORT
206	AC-0.4	PROPOSED TPZ PLAN 1
207	AC-0.5	3D VIEWS / MATERIAL BOARD / PROPERTY FLOOD ZONE DATA 1
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210	AC-1.2	PROPOSED CARPORT FLOOR PLAN & ELEVATIONS 1
211	AC-2.0	PROPOSED CARPORT ROOF PLAN & SECTIONS Copy 1
212	CP-S1	CARPORT - FOUNDATION AND ROOF PLAN 1

C-1.0	CIVIL TITLE SHEET
C-1.1	OVERALL SITE PLAN
C-2.0	GRADING & DRAINAGE
C-2.1	GRADING & DRAINAGE
C-3.0	UTILITY PLAN
C-3.1	UTILITY PLAN
C-4.0	SITE SECTIONS
C-5.0	DETAILS
C-5.1	DETAILS
C-5.2	DETAILS
C-6.0	GRADING SPECIFICATIONS
ER-1	EROSION CONTROL PLAN
ER-2	EROSION CONTROL PLAN
SW-1	BMPs

4 SHEET INDEX. Copy 1
1/4" = 1'-0"

NUMBER OF SHEETS: 102

PROJECT OWNER: RAKESH & SHILPI AGRAWAL
33745 Heritage Way,
Union City, CA 94587
ragrawal@bstonetech.com

PROJECT DESIGNER: BEKOM DESIGN, INC.
19680 Stevens Creek Blvd.
Cupertino, CA 95014
info@bekomdesign.com
PH: 408-203-4686

CIVIL & SURVEY: Peter Carlino, P.E. QSD/QSP, Principal Engineer
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Civil Engineers / Land Surveyors
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Email: pcarlino@leabrazec.com

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CONSULTANTS, INC.
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Union City, CA 94587
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esalazar@sungengr.com

6 PROJECT DIRECTORY. Copy 1
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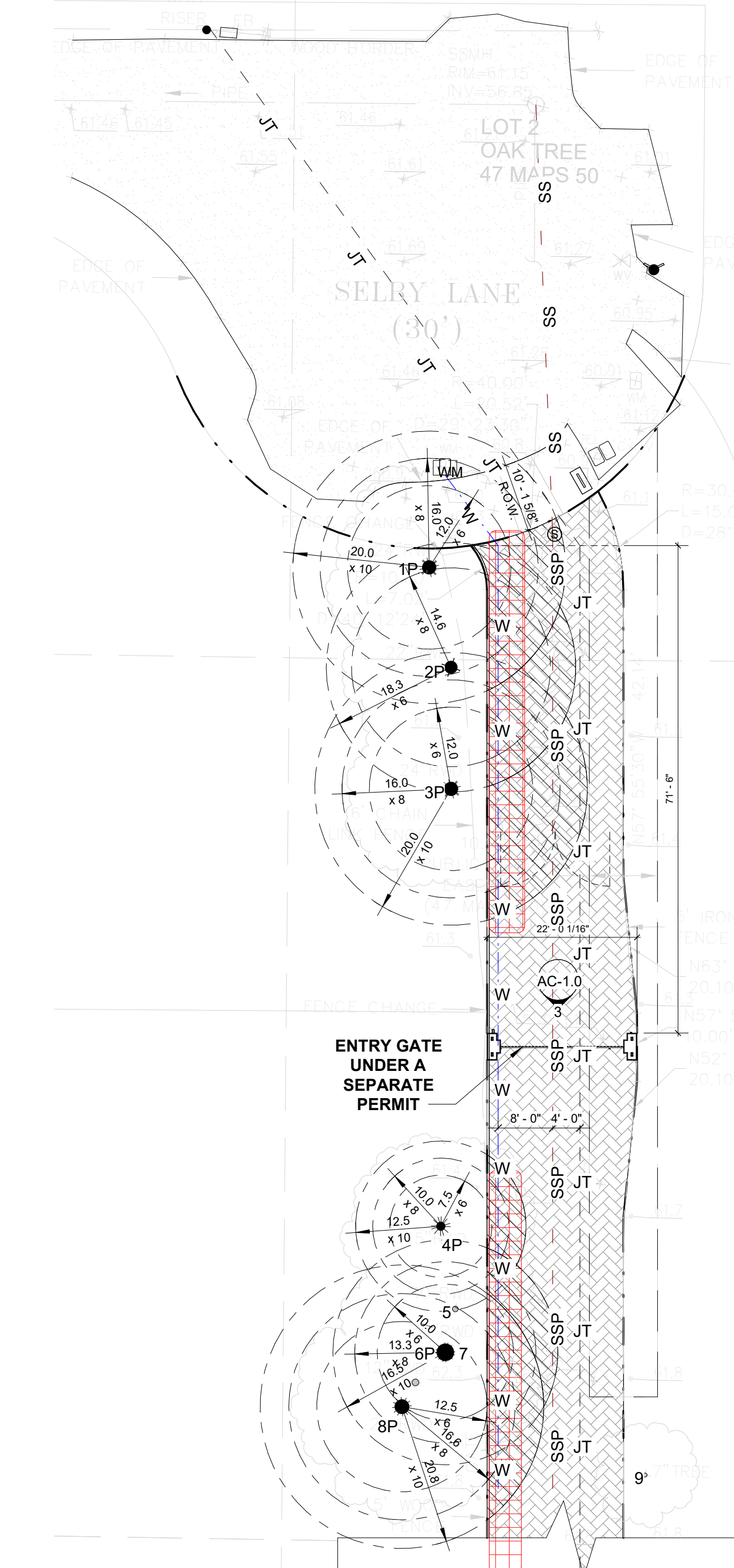
NOTE 1:
DEFERRED SUBMITTALS: THE ENGINEER(S) RESPONSIBLE FOR THE DESIGN OF THE DEFERRED SUBMITTAL ITEMS SHALL STAMP AND SIGN THOSE DRAWINGS AND CALCULATIONS FOR WHICH HE/SHE IS RESPONSIBLE.

NOTE 2:
WORK HOURS AND PARKING:
A. WORK HOURS: CONSTRUCTION, DELIVERIES, AND/OR SERVICING OF ANY ITEM ON SITE SHALL BE PROHIBITED BEFORE 6:00 AM AND AFTER 5:00 PM, WEEKDAYS, ALL DAY SATURDAY, SUNDAY AND HOLIDAYS.
B. CONSTRUCTION PARKING IS PERMITTED ONLY ON THE SITE AND ONLY ON THE SIDE OF THE STREET FRONTING THE PROPERTY FOR WHICH THE PERMIT IS ISSUED.

NOTE 3:
THE SURVEYOR IS REQUIRED TO PROVIDE THE FOLLOWING:
1. LETTER VERIFYING THE STRUCTURE IS LOCATED AS APPROVED ON THE PLANS FOR SETBACKS PRIOR TO POURING ANY CONCRETE
2. LETTER VERIFYING THE HEIGHT OF THE STRUCTURE IS AS SHOWN ON THE PLANS AT FRAME INSPECTION.

NOTE 4:
A. EXCEPT AS OTHERWISE PERMITTED UNDER THIS CHAPTER, NO PERSON SHALL CAUSE AND NO PROPERTY OWNER SHALL PERMIT ON SUCH OWNERS' PROPERTY, A NOISE PRODUCED BY ANY PERSON, MACHINE, ANIMAL OR DEVICE, OR ANY COMBINATION THEREOF, IN EXCESS OF THE SOUND LEVEL LIMITS SET FORTH IN THIS SECTION TO EMANATE FROM ANY PROPERTY, PUBLIC OR PRIVATE, BEYOND THE PROPERTY LINE. ANY SOUND IN EXCESS OF THE SOUND LEVEL LIMITS SET FORTH IN THIS SECTION SHALL CONSTITUTE A NOISE DISTURBANCE. FOR PURPOSES OF DETERMINING SOUND LEVELS, SOUND LEVEL MEASUREMENTS SHALL BE MADE AT ANY LOCATION ON THE RECEIVING PROPERTY. PROFESSIONAL CERTIFICATION OR MEETING THIS REQUIREMENT MAY BE REQUIRED PRIOR TO FINAL INSPECTION.
B. SOUND LEVEL LIMITS: 7 A.M. TO 10 P.M. 60 DB(A) P.M. TO 7 A.M. 50 DBA.
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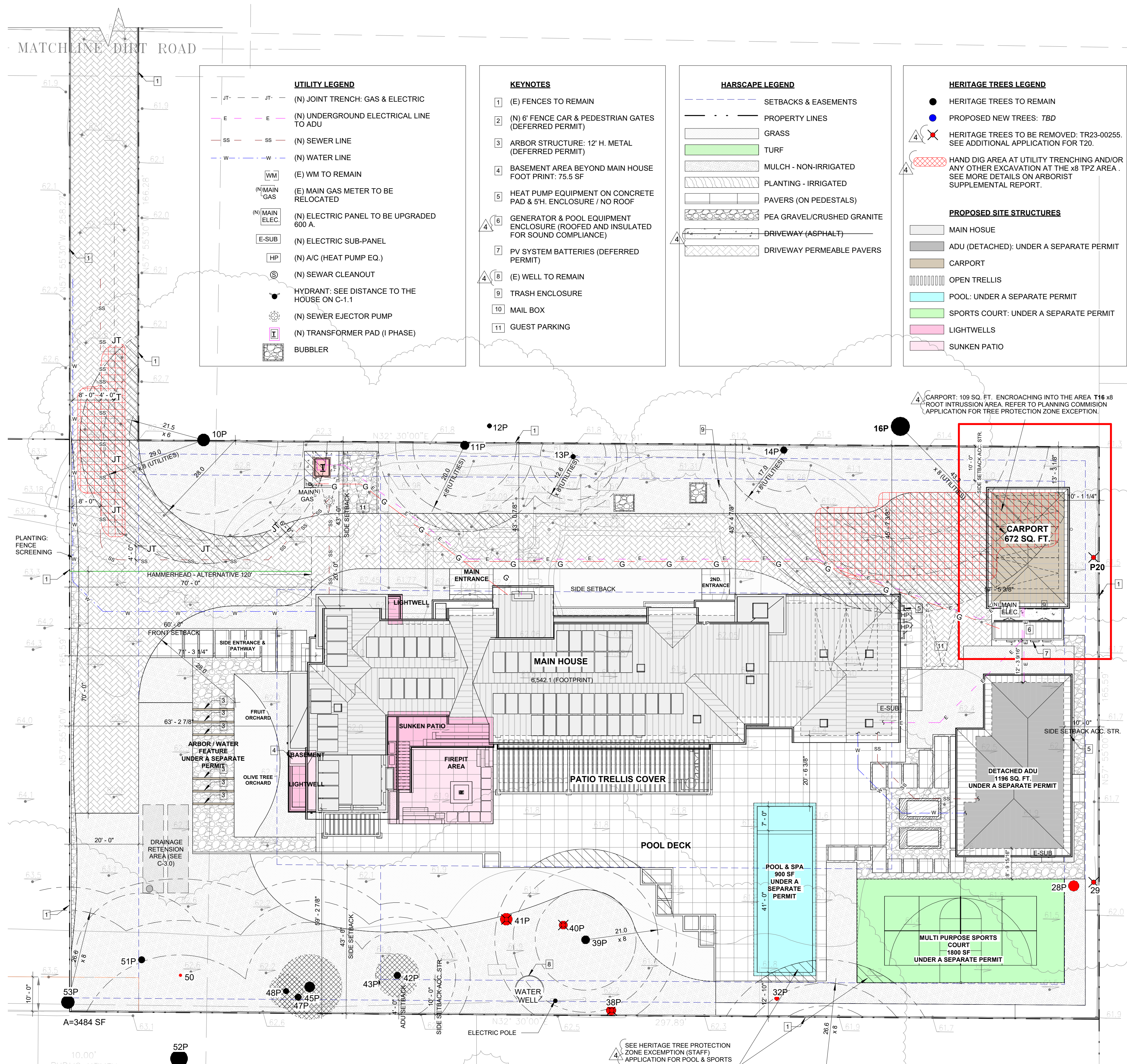
NOTE 5: SEE UTILITY TRENCH DETAILS ON C-5.2.



7 PROPOSED SITE PLAN - 2. Copy 1
1/16" = 1'-0"



3 3D - EX - GENERAL FRONT VIEW. Copy 1
NOT TO SCALE



1 PROPOSED SITE PLAN - 1. Copy 1
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ATHERTON CA. 94027

OWNERS: SHILPI & RAKESH AGRAWAL

BEKOM design

WWW.BEKOMDESIGN.COM
E-MAIL: INFO@BEKOMDESIGN.COM
Tel: 408.203.4686 / 408.725.0017

ISSUANCES

No.	Description	Date
4	BLDG PCC1	07/15/2024

Checked By: _____ Checker: _____

COVER SHEET - CARPORT

Drawing Scale: As indicated

Date: 2024/08/13

AC-0

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OPEN PERGOLA ATTACHED TO THE HOUSE.
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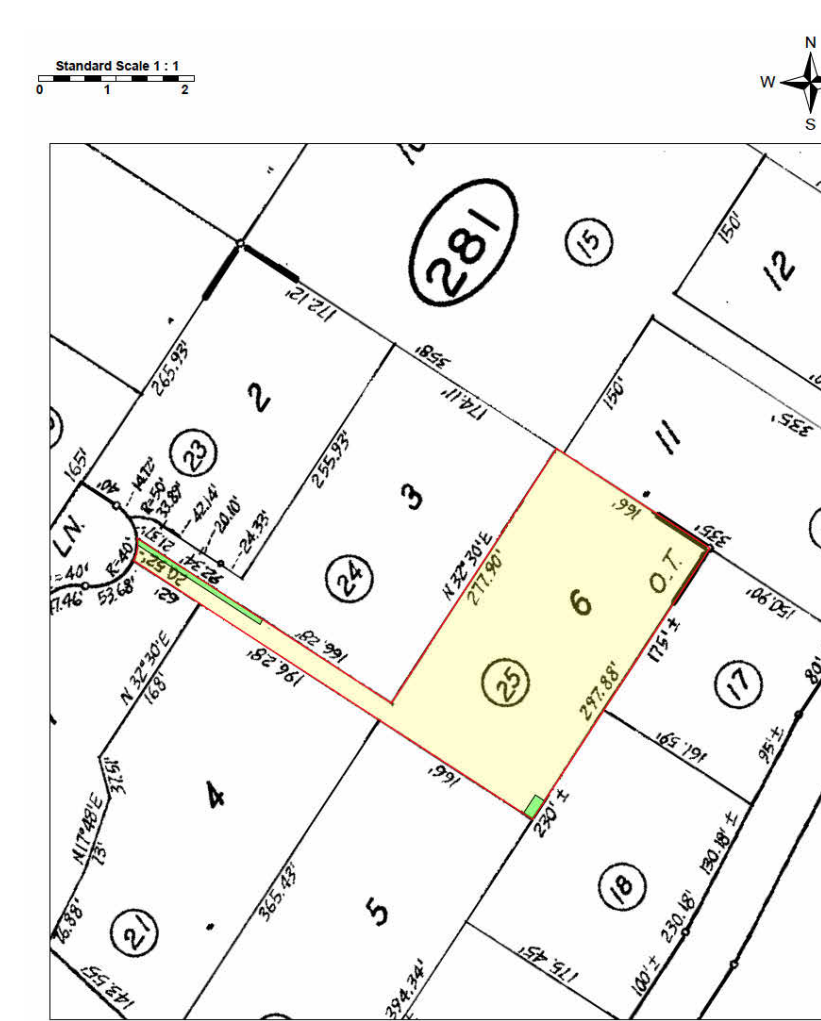
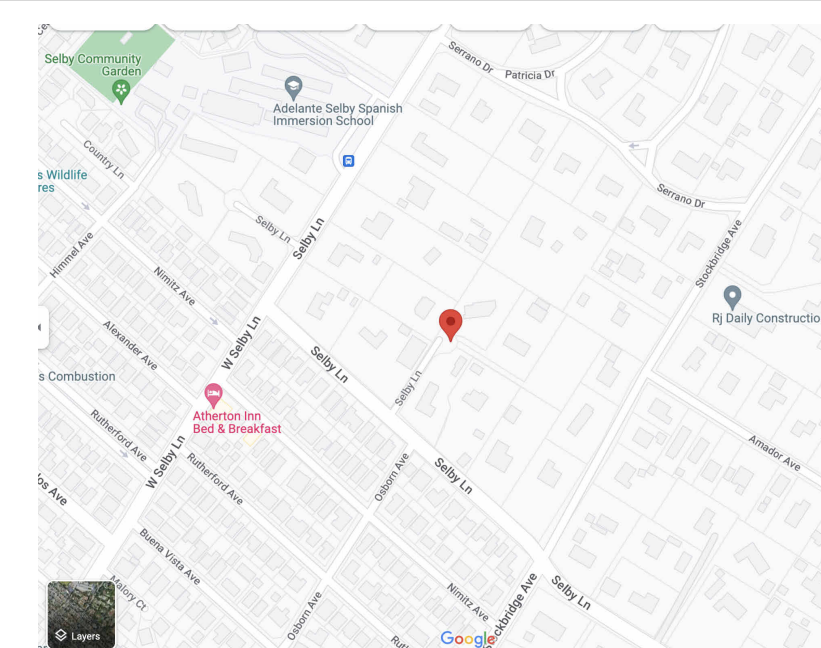
SPECIAL INSPECTIONS:

SEE SHEET A-0.8

DEFERRED PERMITS:

- FIRE SPRINKLERS: YES
WOOD TRUSSES: YES
POOL: YES
PV SYSTEM, BATTERIES AND GENERATOR: YES
METAL STAIRCASE AND RAILINGS

PROJECT INFORMATION. Copy 1
1/4" = 1'-0"



2 PARCEL AND VICINITY MAPS. Copy 1
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CIVIL & SURVEY: Peter Carlino, P.E. QSD/QSP, Principal Engineer
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esalazar@sungengr.com

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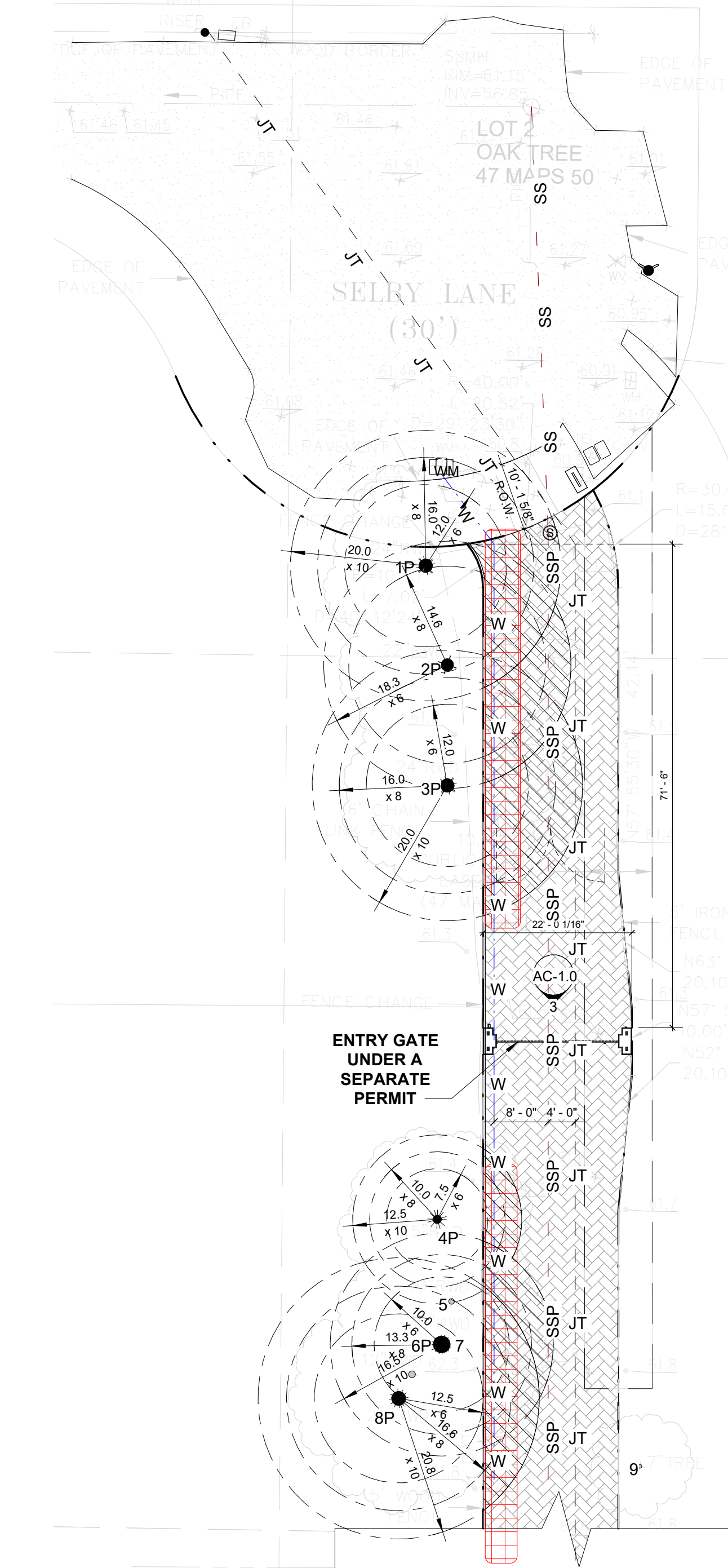
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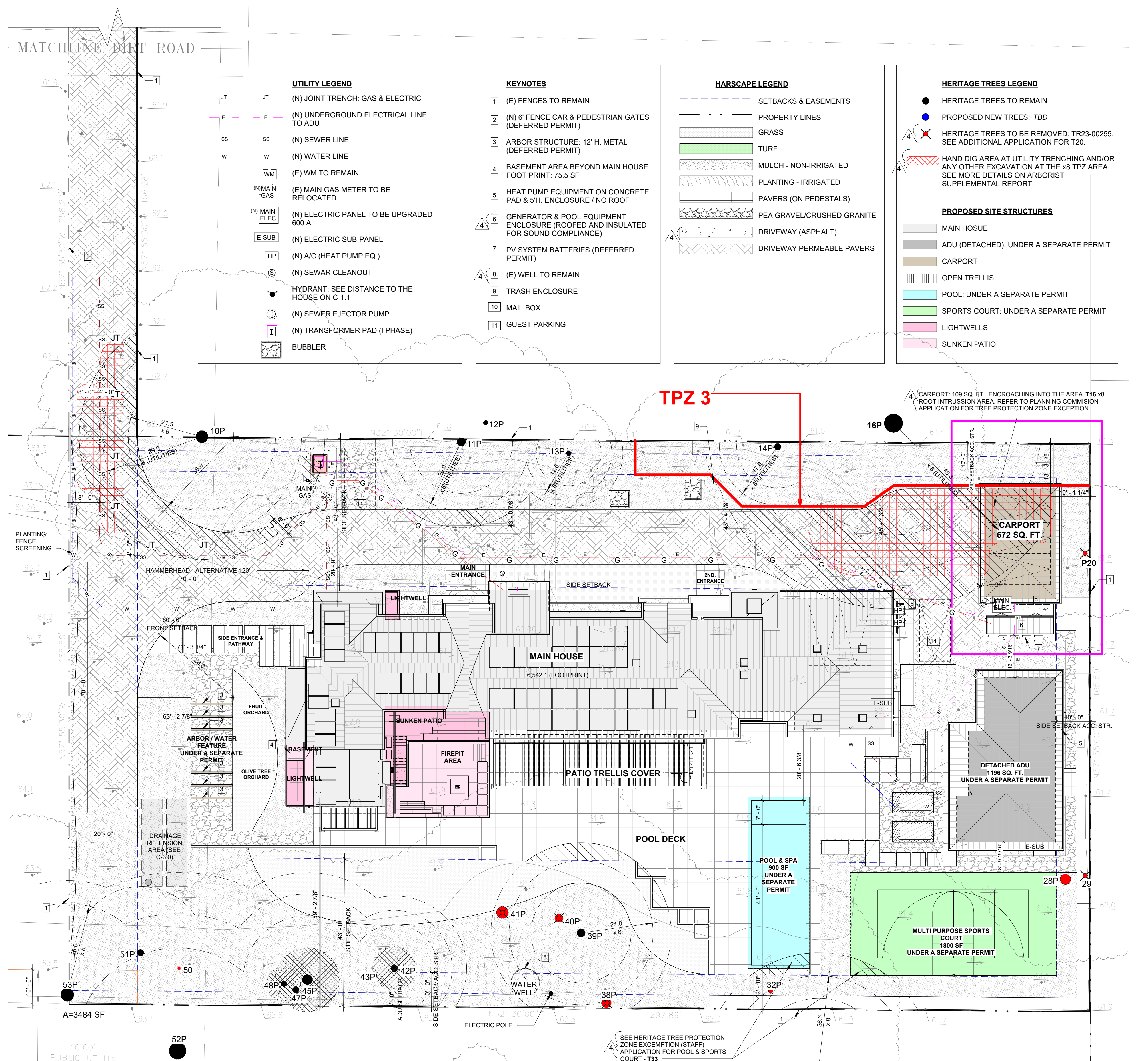
NOTE 5: SEE UTILITY TRENCH DETAILS ON C-5.2.



7 PROPOSED SITE PLAN - 2 Copy 1
1/16" = 1'-0"



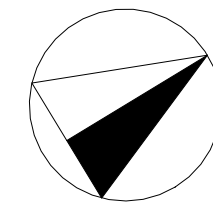
3 3D - EX - GENERAL FRONT VIEW Copy 1
NOT TO SCALE



1 PROPOSED SITE PLAN - 1 Copy 1
1/16" = 1'-0"

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ATHERTON CA. 94027

OWNERS: SHILPI & RAKESH AGRAWAL



BEKOM
design

WWW.BEKOMDESIGN.COM
E-MAIL:
INFO@BEKOMDESIGN.COM
Tel: 408.203.4686
/ 408.725.0017
Signature

ISSUANCES

No.	Description	Date
4	BLDG PCC1	07/15/2024

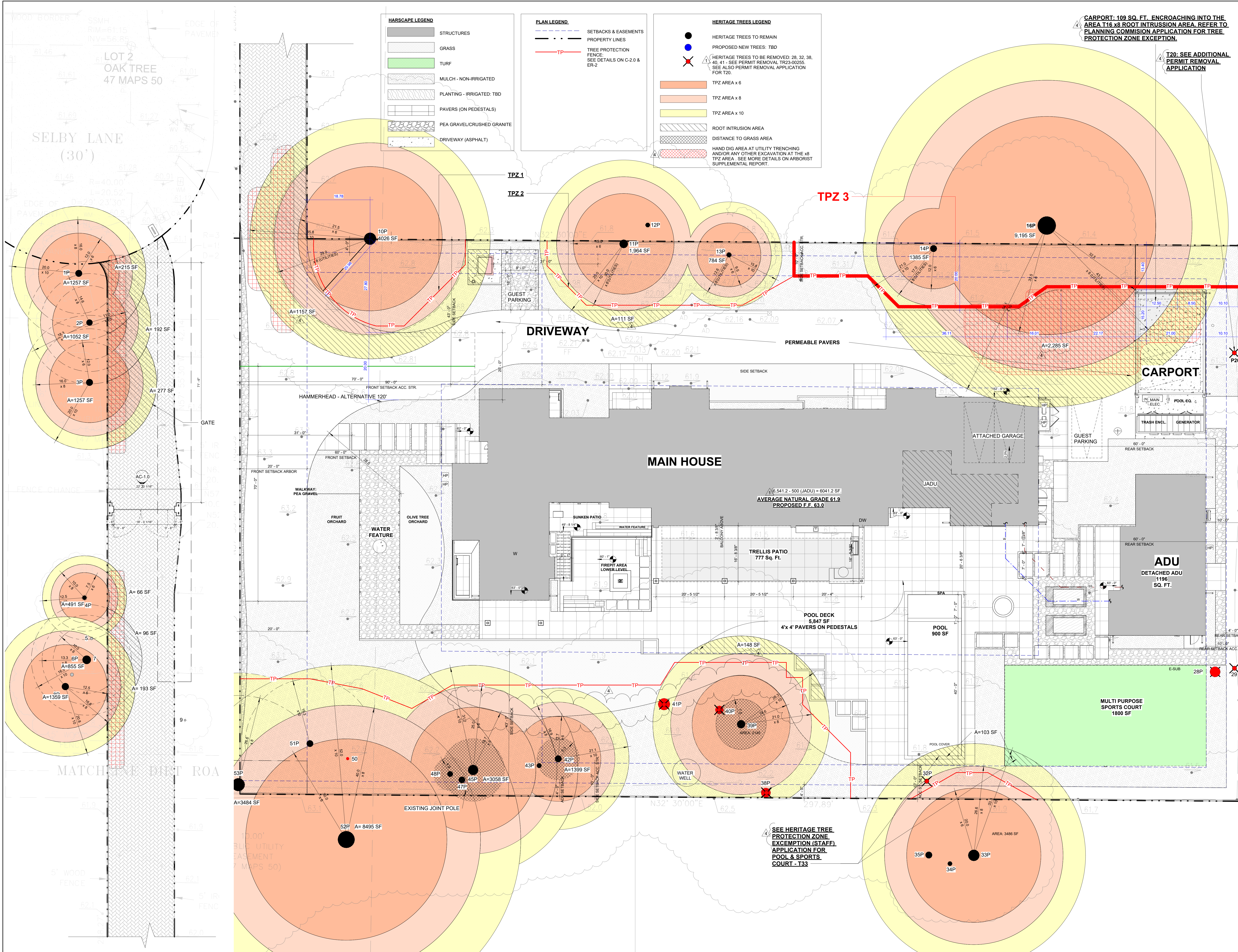
Checked By: Checker

COVER SHEET
- CARPORT

Drawing Scale: As indicated

Date: 2024/08/27

AC-0



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BEKOM design

WWW.BEKOMDESIGN.COM
E-MAIL: INFO@BEKOMDESIGN.COM
Tel: 408.203.4896
/408.725.0017

ISSUANCES

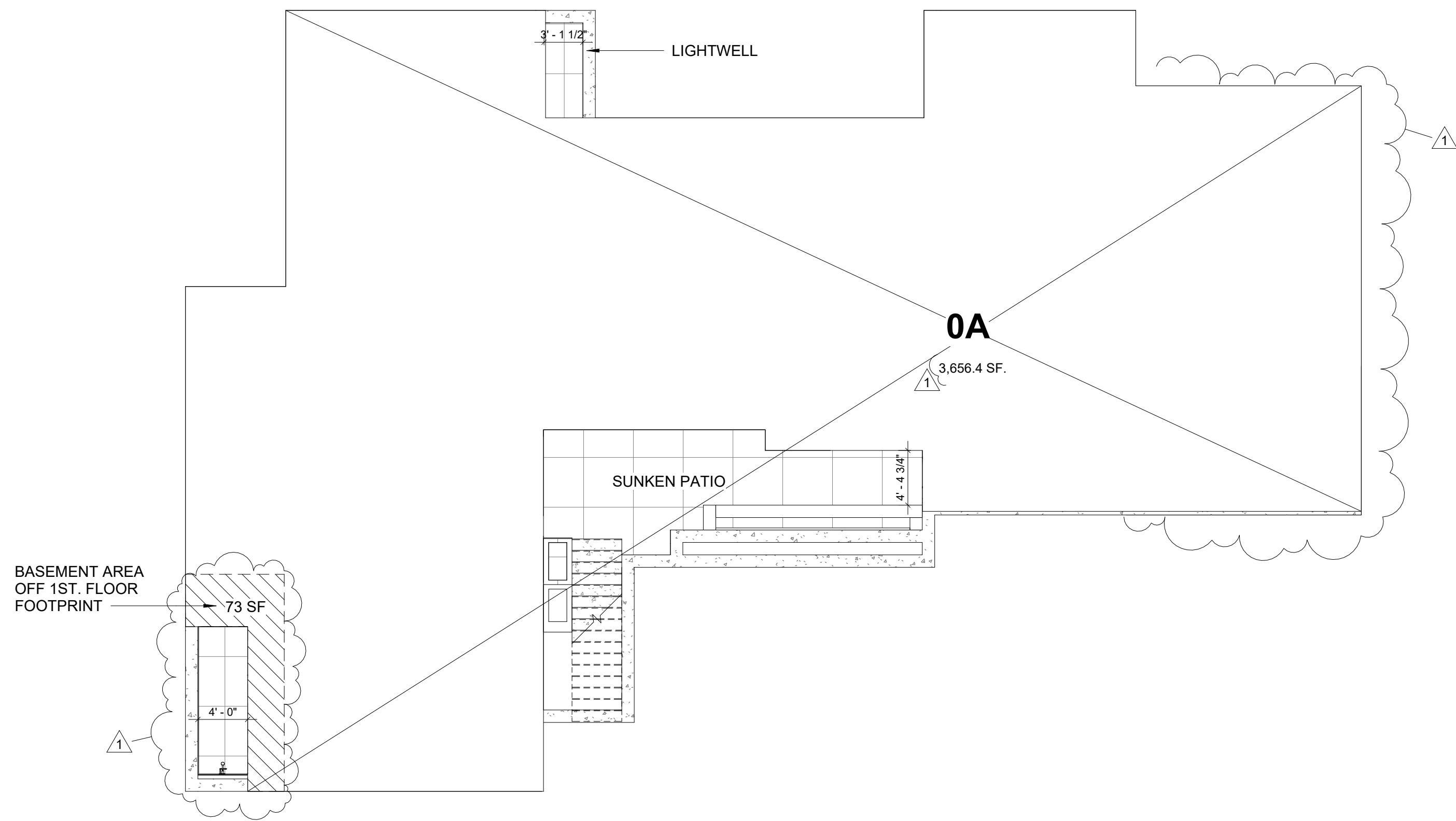
No.	Description	Date
1	PLAN PRE-APPLICATION	10/10/2023
2	PC1 REV 1	04/25/2024
3	GEOTECH RESP.	06/05/2024
4	BLDG SUBMITTAL	06/13/2024
5	BLDG PCC1	07/15/2024

Checked By: _____ Checker: _____

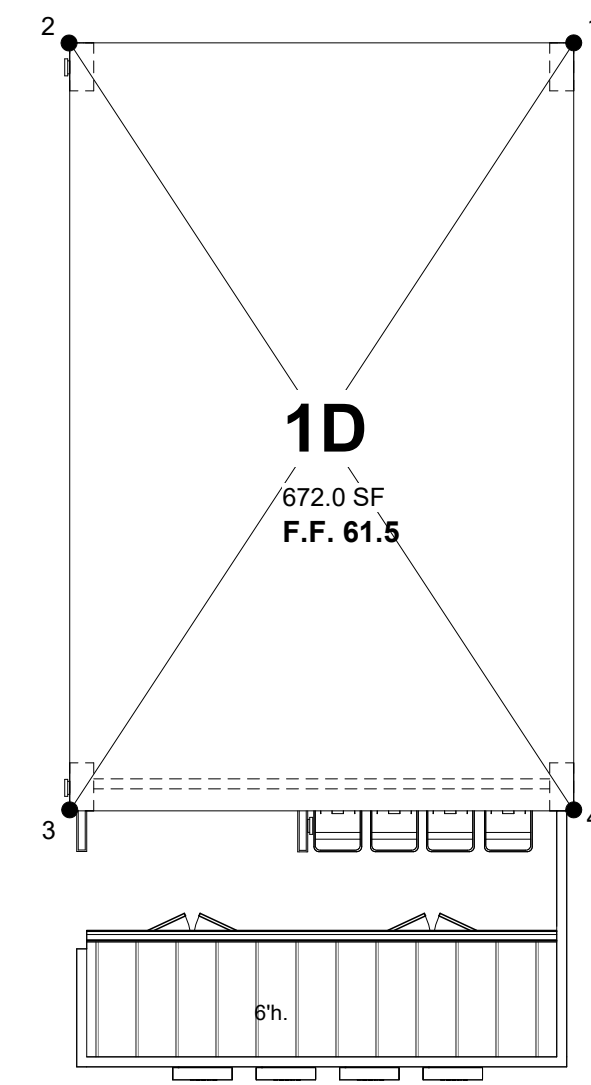
PROPOSED
TPZ PLAN 1

Drawing Scale: 1" = 10'-0"
Date: 2024/08/27

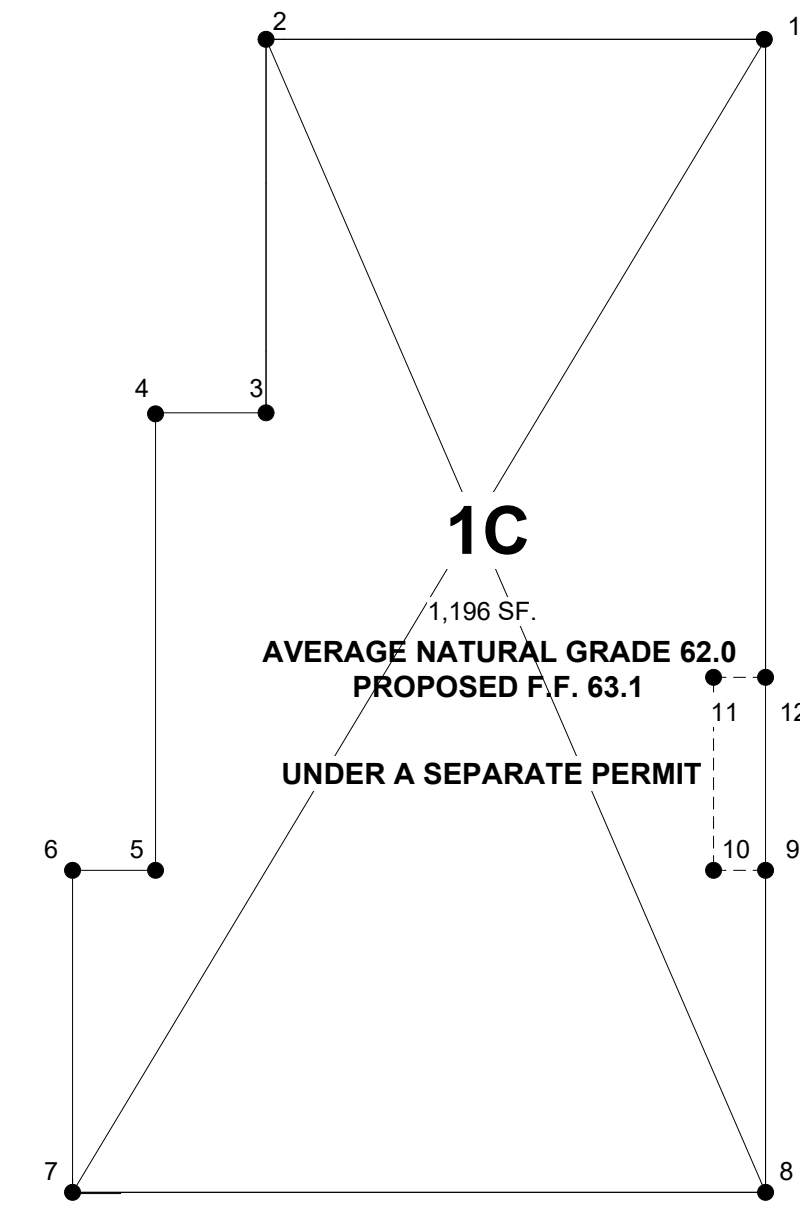
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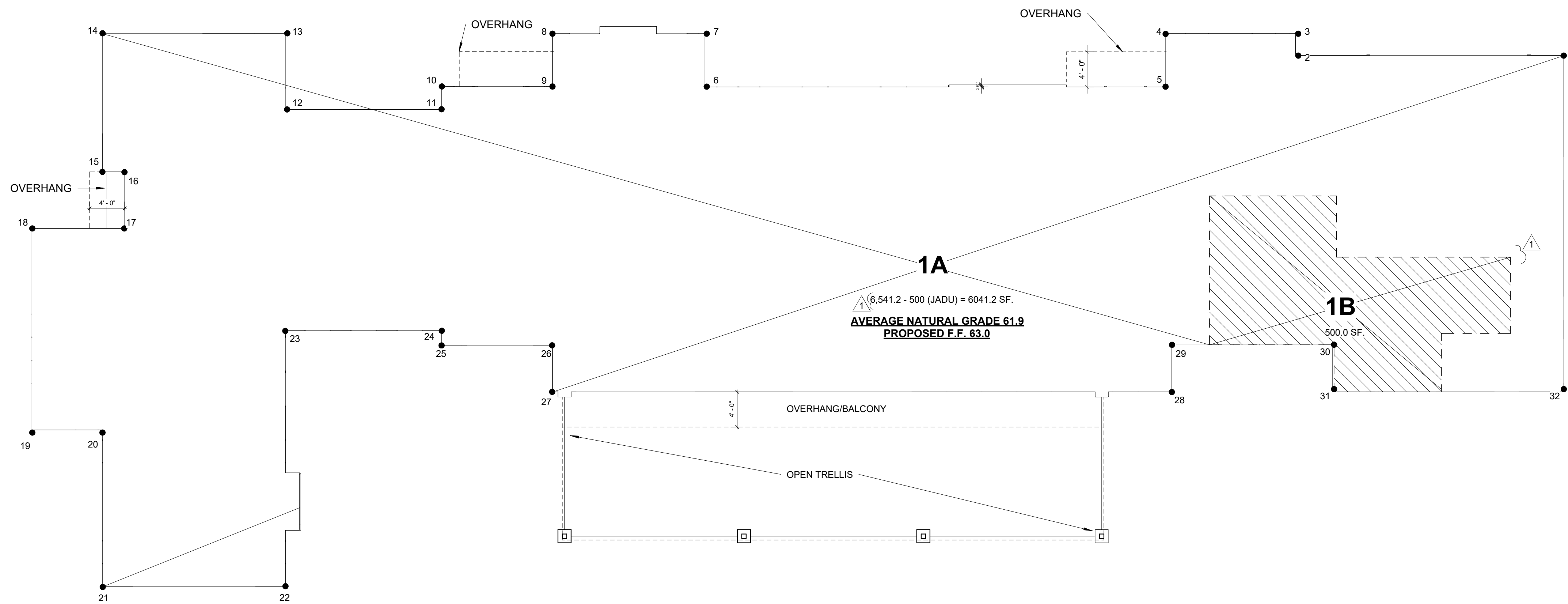
1 BASEMENT - FAR - Dependent 1
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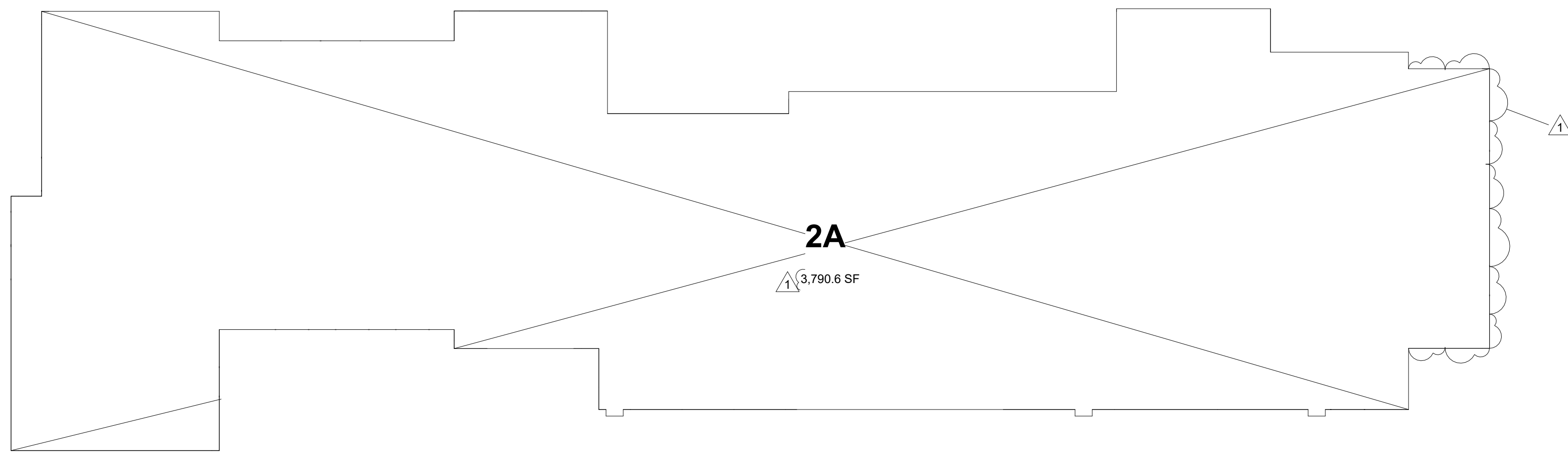
4 CARPORT - FAR - Dependent 1
1/8" = 1'-0"



5 DETACHED ADU - FAR - Dependent 1
1/8" = 1'-0"



2 1ST. FLOOR - FAR - Dependent 1
1/8" = 1'-0"



3 2ND. FLOOR - FAR - Dependent 1
1/8" = 1'-0"

FLOOR AREA DIAGRAM 251 SELBY LN			
BUILDING AREA SQUARE FOOTAGE BREAKDOWN			
ALLOWABLE FAR			
GROSS LOT AREA:	54759.0		
TOTAL ALLOWABLE:	18%	9856.6 SF	
ALLOWABLE 2ND. FLOOR	7.5%	4106.9 SF	
SECTION			
AREA			
1ST. FLOOR	1A	6042.1 SF	
	1B	500.0 SF	
	JADU CREDIT (UP TO 500 SF)	500.0 SF	
TOTAL 1ST. FLOOR		6042.1 SF	
2ND. FLOOR	2A	3790.6 SF	
TOTAL 2ND. FLOOR		3790.6 SF	
BASEMENT	0A	3656.4 SF	
TOTAL (FAR EXEMPT)		3656.4 SF	
TOTAL PROPOSED FAR		9832.7 SF	
DETACHED ADU	1C	1196.0 SF	
ADU CREDIT @10' FROM PROPERTY LINE UP TO 1200 SF			
ALLOWABLE COVERAGE			
MAX COVERED PATIOS IS 5 OF 9,856 SQ.FT.		992.8 SF	
492.8 + 500 SQ. FT = 992.8 SQ. FT.			
CARPORT	1D	672.0 SF	
TOTAL PROPOSED COVERAGE		672.0 SF	

251 SELBY LN.
ATHERTON CA. 94027

OWNERS: SHILPI & RAKESH AGRAWAL

BEKOM
design

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Tel: 408.203.4896
/ 408.725.0017

No.	Description	Date
1	PC1 / REV 1	04/25/2024
2	GEOTECH RESP.	06/05/2024
3	BLDG SUBMITTAL	06/13/2024

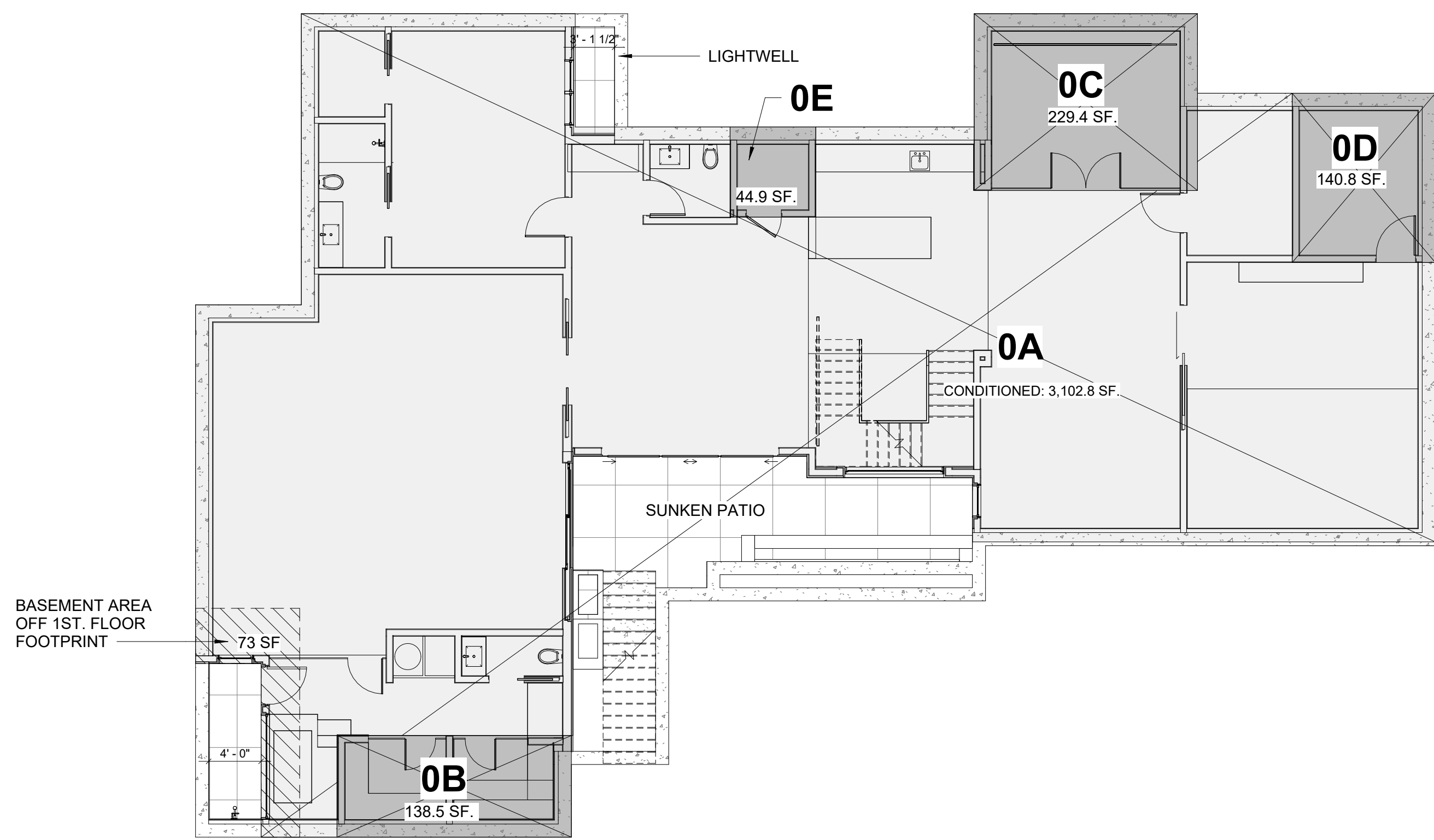
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FLOOR AREA
DIAGRAMS 1

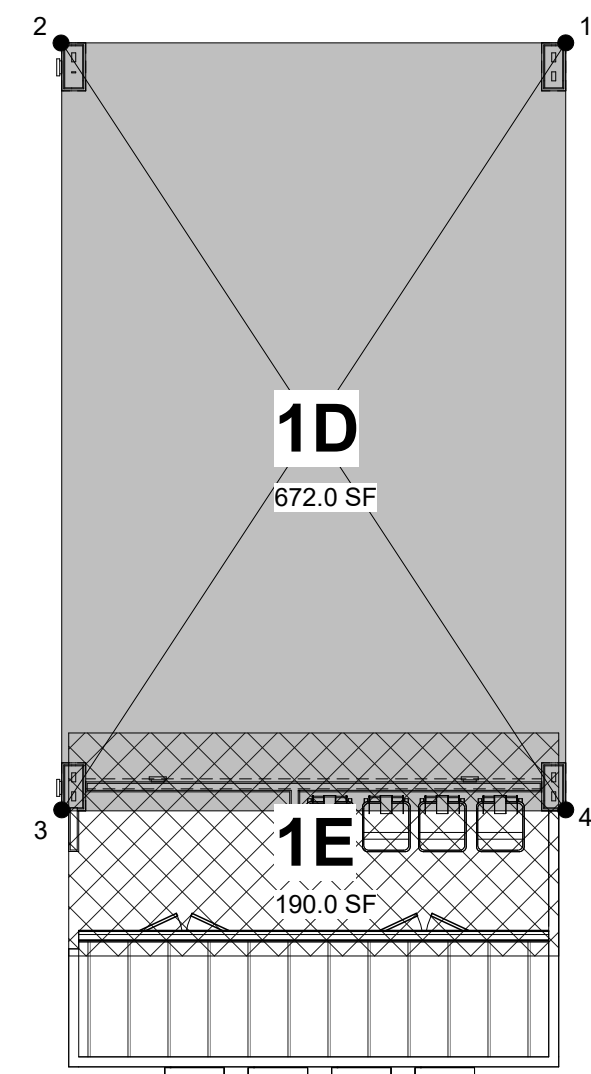
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Date: 2024/08/12

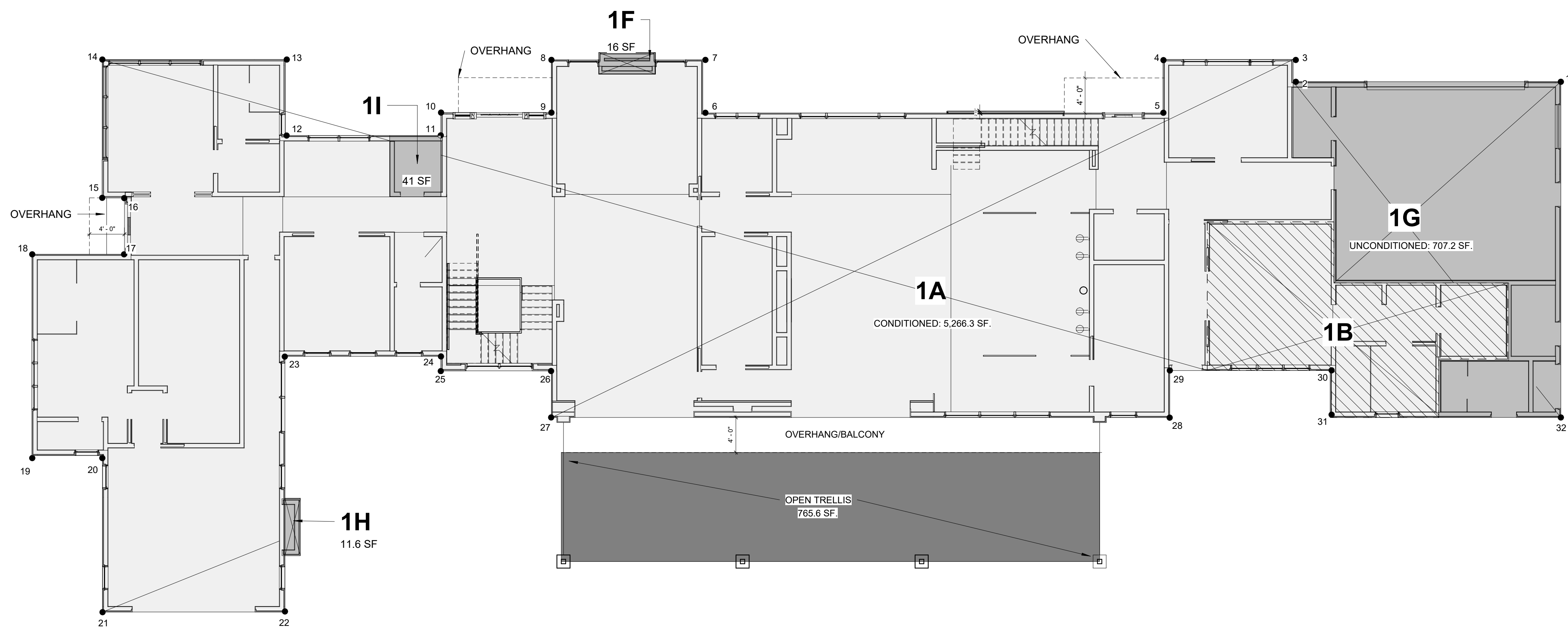
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1 BASEMENT - FAR Copy 1 - Dependent 1
1/8" = 1'-0"



4 CARPORT - FAR Copy 1 - Dependent 1
1/8" = 1'-0"



2 1ST. FLOOR - FAR Copy 1 - Dependent 1
1/8" = 1'-0"

FLOOR AREA DIAGRAM 251 SELBY LN		
BUILDING AREA SQUARE FOOTAGE BREAKDOWN		
CONDITIONED AREA MAIN HOUSE		
1ST. FLOOR	SECTION	AREA
JADU	1A	5266.3 SF
TOTAL 1ST. FLOOR UNCONDITIONED AREA	1B	500.0 SF
GARAGE, MECHANICAL, POOL, STORAGE & ELEC. ROOM	1G	707.2 SF
ELEVATOR	1I	41.0 SF
FIREPLACE	1H	11.6 SF
FIREPLACE	1F	16 SF
TOTAL 1ST. FLOOR UNCONDITIONED AREA		775.8 SF
2ND. FLOOR	2A	3715 SF
TOTAL 2ND. FLOOR UNCONDITIONED AREA	2B	3715 SF
STORAGE	2C	34.6 SF
TOTAL 2ND. FLOOR UNCONDITIONED AREA		75.6 SF
BASEMENT	0A	3102.8 SF
TOTAL BASEMENT UNCONDITIONED AREA	0B	3102.8 SF
SPA	0C	138.5 SF
WINE ROOM	0D	229.4 SF
MECHANICAL	0E	140.8 SF
ELEVATOR		44.9 SF
TOTAL BASEMENT FLOOR UNCONDITIONED AREA		553.6 SF
TOTAL UNCONDITIONED AREA		12584.1 SF
TOTAL BASEMENT UNCONDITIONED AREA		1405.0 SF
TOTAL BUILT AREA		13989.1 SF

UNDER A SEPARATE PERMIT		
CONDITIONED AREA ADU		
ADU	1C	1154.9 SF
TOTAL BASEMENT UNCONDITIONED AREA	1J	1154.9 SF
MECHANICAL	1K	23.5 SF
ENCLOSE PORCH	1L	17.6 SF
TOTAL 2ND. FLOOR UNCONDITIONED AREA		41.1 SF
TOTAL BUILT AREA ADU		1195.0 SF
UNCONDITIONED AREA - ACCESSORY STRUCTURES		
CARPORT	1D	672.0 SF
OPEN. ENCLOSURE	1E	190.0 SF

251 SELBY LN.
ATHERTON CA. 94027

OWNERS: SHILPI & RAKESH AGRAWAL

BEKOM
design

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Tel: 408.203.4886
/ 408.725.0017

ISSUANCES

No.	Description	Date
1	PLN PRE-APPLICATION	10/10/2023
2	PC1 / REV 1	04/25/2024
3	GEOTECH RESP.	06/05/2024
4	BLDG SUBMITTAL	06/13/2024

Checked By: Checker

FLOOR AREA
DIAGRAMS -
CONDITIONED
&
UNCONDITIONED
SPACE 1

Drawing Scale: As indicated

Date: 2024/08/12

AC-0.2



Square Footage Worksheet

Town of Atherton
Building Department
80 Fair Oaks Ln
Atherton, California 94027
Phone: (650) 752-0560
Inspection requests:
(650) 752-0542

This worksheet is usually not the same square footage that was calculated for the Planning Departments
allowed lot coverage calculations.

The Building Department needs the **actual square footage being** built including all basements.
Connected structures will be issued under one permit and each detached structure will require a separate
permit.

PLEASE COMPLETE THE FOLLOWING:

Name of Structure: MAIN HOUSE

Conditioned space including basement as applicable (New):	12,584.1 S.F.
Conditioned space including basement as applicable (Remodel):	0.0 S.F.
Non-Conditioned space including basement as applicable (New or Remodel):	1,405.0 S.F.
Open trellis, decks and similar open structures (New or Remodel):	765.6 S.F.

Name of Structure: CARPORT

Conditioned space including basement as applicable (New):	S.F.
Conditioned space including basement as applicable (Remodel):	S.F.
Non-Conditioned space including basement as applicable (New or Remodel):	672.0 S.F.
Open trellis, decks and similar open structures (New or Remodel):	190.0 S.F.

Name of Structure:

Conditioned space including basement as applicable (New):	S.F.
Conditioned space including basement as applicable (Remodel):	S.F.
Non-Conditioned space including basement as applicable (New or Remodel):	S.F.
Open trellis, decks and similar open structures (New or Remodel):	S.F.

Rev 03/13/2015 bah

Page 1 of 1

Kiely Arborists Services LLC

Certified Arborist WE#10724A
P.O. Box 6187
San Mateo, CA 94403
650- 532-4418

Revised October 4th, 2023

Bekom Design Inc.
Attn: Susan Bowen

Site: 251 Selby Lane, Atherton CA

Dear Bekom Design Inc.

As requested on Wednesday, October 27th, 2021, and again on February 7th, 2023, Kiely Arborists Services visited the above site for the purpose of providing a Tree Inventory Report/Tree Protection Plan for the proposed construction. A new two-story home, basement, ADU, detached garage, pool, landscape, and sports court are proposed for this site, and your concern as to the future health and safety of the tree has prompted this visit. Site plans A-1.0 and A-1.1 dated 8/22/23 were reviewed for writing this report. This Tree Inventory Report is not a Tree Risk Assessment. As such, no trees were assessed for risk in accordance with industry standards, nor are there any tree risk ratings or risk mitigation recommendations provided within this preservation plan unless stated otherwise.

Method:

All inspections were made from the ground; the trees were not climbed for this inspection. The trees in question were located on an existing topography map provided by you. The trees were then measured for diameter at 48 inches above ground level (DBH or diameter at breast height). The trees were given a condition rating for form and vitality. The trees condition rating is based on 50 percent vitality and 50 percent form, using the following scale.

1 - 29 Very Poor
30 - 49 Poor
50 - 69 Fair
70 - 89 Good
90 - 100 Excellent

The height of the trees were measured using a Nikon Forestry 550 Hypsometer. The spread was paced off. Comments and recommendations for future maintenance are provided.

Survey Key:

*-Indicates neighbor's tree

P-Indicates protected tree by city ordinance.

R-Indicates proposed removal

DBH-Diameter at breast height (48 inches above grade)

CON- Condition rating

HT/SP- Tree height/ canopy spread

251 Selby (2)				
Survey:	Tree#	Species	DBH	CON HT/SPComments
1*P	Redwood	(<i>Sequoia sempervirens</i>)	24est	80 55/15 Good vigor, good form.
		10x diameter=20'		
		8x diameter=16'		
		6x diameter=12'		
		Appraised value=\$8,400		

2*P	Redwood	(<i>Sequoia sempervirens</i>)	22est	80 55/15 Good vigor, good form.
		10x diameter=18.3'		
		8x diameter=14.6'		
		6x diameter=11'		
		Appraised value=\$7,100		

3*P	Redwood	(<i>Sequoia sempervirens</i>)	24est	80 55/15 Good vigor, good form.
		10x diameter=20'		
		8x diameter=16'		
		6x diameter=12'		
		Appraised value=\$8,400		



Showing Redwood trees #1-3

4*P	Redwood	(<i>Sequoia sempervirens</i>)	15est	45 45/15 Poor vigor, fair form, in decline, abundance of dead wood.
		10x diameter=12.5'		
		8x diameter=10'		
		6x diameter=7.5'		
		Appraised value=\$1,880		

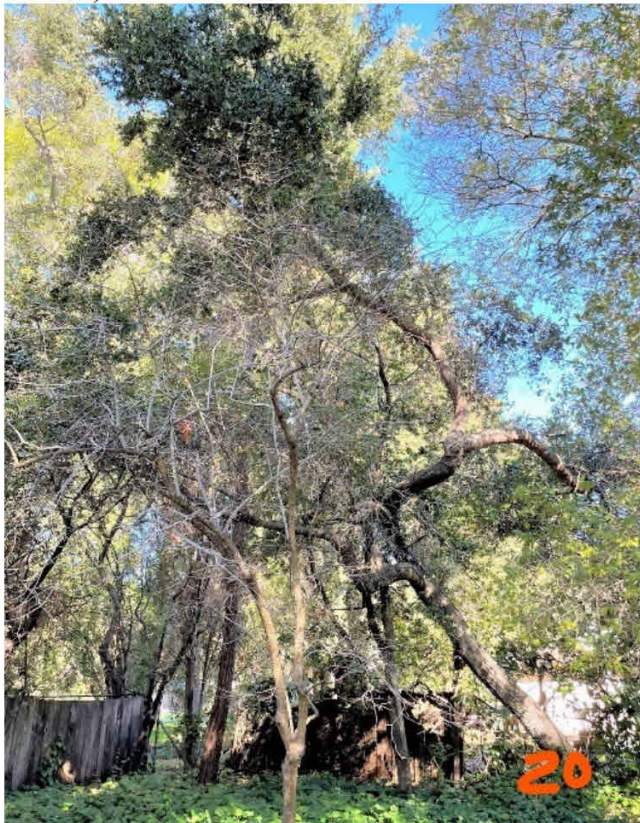
251 Selby (6)				
Survey:	Tree#	Species	DBH	CON HT/SPComments
14P	Coast Live Oak	(<i>Quercus agrifolia</i>)	25.5	80 35/35 Good vigor, good form.
		10x diameter=21.2'		
		8x diameter=17'		
		6x diameter=12.7'		
		Appraised value=\$12,300		

16*P	Redwood	(<i>Sequoia sempervirens</i>)	65est	80 100/30 Good vigor, good form.
		10x diameter=54.1'		
		8x diameter=43.2'		
		6x diameter=32.5'		
		Appraised value=\$36,800		



Showing trees #14 and #16

251 Selby (7)				
Survey:	Tree#	Species	DBH	CON HT/SPComments
20P	Coast Live Oak	(<i>Quercus agrifolia</i>)	17.3	50 40/40 Good vigor, fair to poor form, grows at lean, suppressed, recommended to prune if retained.
		10x diameter=14.4'		
		8x diameter=11.5'		
		6x diameter=8.6'		
		Appraised value=\$3,640		



26P/R	Coast Live Oak	(<i>Quercus agrifolia</i>)	23.6	40 45/40 Fair to poor vigor, poor form, leans at 45 degrees, bleeding cankers at 20'. FAILED TREE
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28P/R	Cottonwood	(<i>Populus fremontii</i>)	35.4	40 65/25 Poor vigor, fair form, history of limb loss, decay on trunk.
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29R	Coast Live Oak	(<i>Quercus agrifolia</i>)	14.6	45 30/25 Fair vigor, poor form, covered in ivy, suppressed, topped.
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251 Selby (3)				
Survey:	Tree#	Species	DBH	CON HT/SPComments
5*	Redwood	(<i>Sequoia sempervirens</i>)	10est	45 45/15 Poor vigor, fair form, in decline, abundance of dead wood.
6*P	Redwood	(<i>Sequoia sempervirens</i>)	20est	80 55/15 Good vigor, good form.
		10x diameter=16.6'		
		8x diameter=13.3'		
		6x diameter=10'		
		Appraised value=\$5,800		
7*	Redwood	(<i>Sequoia sempervirens</i>)	12est	50 45/15 Fair vigor, fair form, suppressed.
8*P	Redwood	(<i>Sequoia sempervirens</i>)	25est	80 55/15 Good vigor, good form.
		10x diameter=20.8'		
		8x diameter=16.6'		
		6x diameter=12.5'		
		Appraised value=\$9,100		



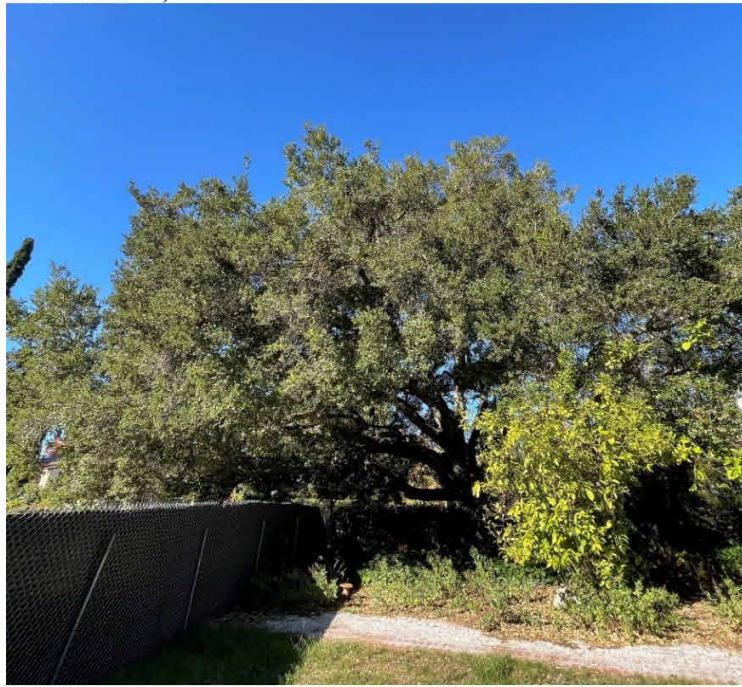
Showing Redwood trees #4-8

251 Selby (8)				
Survey:	Tree#	Species	DBH	CON HT/SPComments
30	Coast Live Oak	(<i>Quercus agrifolia</i>)	10.3	50 30/15 Fair vigor, fair form, suppressed.
32P/R	Coast Live Oak	(<i>Quercus agrifolia</i>)	16.6	45 30/40 Fair vigor, poor form, suppressed, leans at 45 degrees.
33*P	Redwood	(<i>Sequoia sempervirens</i>)	40est	65 100/25 Fair vigor, fair form, drought stressed.
		10x diameter=33.3'		
		8x diameter=26.6'		
		6x diameter=20'		
		Appraised value=\$17,200		
34*P	Redwood	(<i>Sequoia sempervirens</i>)	16est	65 60/25 Fair vigor, fair form, drought stressed.
		10x diameter=13.3'		
		8x diameter=10.6'		
		6x diameter=8'		
		Appraised value=\$3,070		
35*P	Redwood	(<i>Sequoia sempervirens</i>)	24est	65 100/25 Fair vigor, fair form, drought stressed.
		10x diameter=20'		
		8x diameter=16'		
		6x diameter=12'		
		Appraised value=\$6,800		



Showing neighboring Redwood trees #33-35

251 Selby (4)				
Survey:	Tree#	Species	DBH	CON HT/SPComments
9*	Apple	(<i>Malus sp.</i>)	7est	65 10/10 Fair vigor, fair form.
10*P	Coast Live Oak	(<i>Quercus agrifolia</i>)	43.0	65 45/65 Good vigor, fair form, heavy limbs, ivy on trunk, Recommended to pruned and prop. ON PROPERTY LINE, SHARED TREE.
		10x diameter=35.8'		
		8x diameter=28.6'		
		6x diameter=21.5'		
		Appraised value=\$20,400		

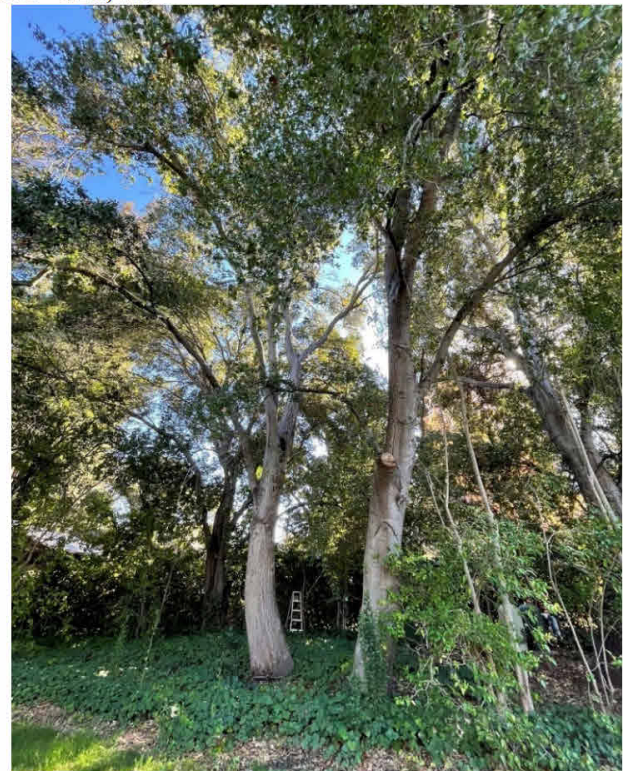


Showing Oak tree #10

11P	Coast Live Oak	(<i>Quercus agrifolia</i>)	30.0	80 45/35 Good vigor, good form, suppressed, heavy into property.
		10x diameter=25'		
		8x diameter=20'		
		6x diameter=15'		
		Appraised value=\$16,300		

12*P	Evergreen Ash	(<i>Fraxinus salida</i>)	16est	65 45/25 Good vigor, fair form, limited visual inspection.
		10x diameter=13.3'		
		8x diameter=10.6'		
		6x diameter=8'		
		Appraised value=\$1,020		

251 Selby (9)				
Survey:	Tree#	Species	DBH	CON HT/SPComments
38P/R	Coast Live Oak	(<i>Quercus agrifolia</i>)	35.5	45 45/40 Fair vigor, poor form, abundance of dead wood, dead limbs, included bark, hollow cavity in trunk.
39P/R	Coast Live Oak	(<i>Quercus agrifolia</i>)	31.6	60 60/45 Fair vigor, fair form, minor dead wood, lions tailed.
		10x diameter=26.3'		
		8x diameter=21'		
		6x diameter=15.8'		
		Appraised value=\$11,700		
40P/R	Coast Live Oak	(<i>Quercus agrifolia</i>)	29.3	50 45/35 Good vigor, fair form, leans into property,
41P/R	Coast Live Oak	(<i>Quercus agrifolia</i>)	43.3	65 50/40 Good vigor, fair form, codominant at 8" with fair unions.
		10x diameter=36'		
		8x diameter=28.8'		
		6x diameter=21.6'		
		Appraised value=\$20,400		



Showing Oak trees #39-41

251 Selby (5)				
Survey:	Tree#	Species	DBH	CON HT/SPComments
13P	Redwood	(<i>Sequoia sempervirens</i>)	19.0	80 45/20 Good vigor, good form.
		10x diameter=15.8'		
		8x diameter=12.6'		
		6x diameter=9.5'		
		Appraised value=\$5,300		



Showing trees #11-13

251 Selby (10)				
Survey:	Tree#	Species	DBH	CON HT/SPComments
42P	Coast Live Oak	(<i>Quercus agrifolia</i>)	25.4	65 45/40 Good vigor, fair form, suppressed, in grove.
		10x diameter=21.1'		
		8x diameter=16.9'		
		6x diameter=12.7'		
		Appraised value=\$9,200		
43P/R	Coast Live Oak	(<i>Quercus agrifolia</i>)	16-16.8	45 30/45 Fair vigor, poor form, suppressed, heavy lean, codominant at grade.
		fixed dbh= 24.8"		
45P	Coast Live Oak	(<i>Quercus agrifolia</i>)	37.5	70 60/45 Good vigor, fair form, codominant at 20 feet.
		10x diameter=31.2'		
		8x diameter=25'		
		6x diameter=18.7'		
		Appraised value=\$21,400		
47P	Coast Live Oak	(<i>Quercus agrifolia</i>)	20.7	60 55/35 Fair vigor, fair form, suppressed, grows towards neighbor's property.
		10x diameter=17.2'		
		8x diameter=13.8'		
		6x diameter=10.3'		
		Appraised value=\$6,000		
48P	Coast Live Oak	(<i>Quercus agrifolia</i>)	19.6	60 30/25 Fair vigor, fair form, grows at lean into property, suppressed.
		10x diameter=16.3'		
		8x diameter=12'		
		6x diameter=9.8'		
		Appraised value=\$5,500		



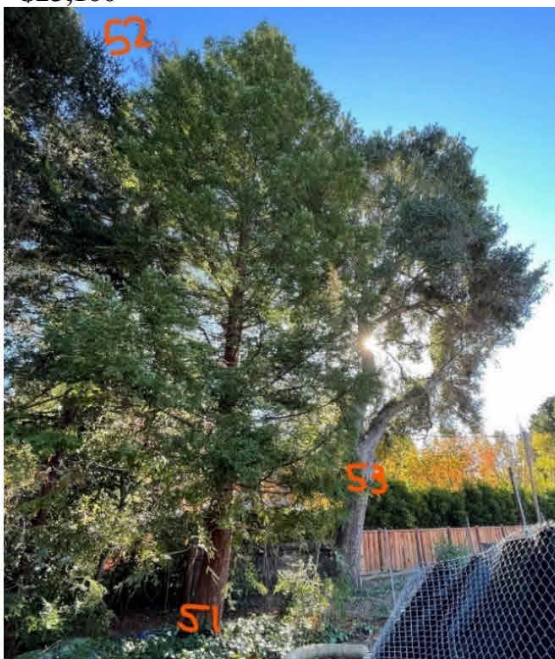
Showing grove of trees #42-48

251 Selby (11)				
Survey:	Tree#	Species	DBH	CON HT/SPComments
50	Redwood	(<i>Sequoia sempervirens</i>)	10.6	70 40/15 Fair vigor, fair form, suppressed.

51P	Redwood	(<i>Sequoia sempervirens</i>)	23.2	80 55/20 Good vigor, good form.
		10x diameter=19.3'		
		8x diameter=15.4'		
		6x diameter=11.6'		
		Appraised value=\$7,700		

52*P	Redwood	(<i>Sequoia sempervirens</i>)	60est	50 75/25 Fair vigor, poor form, codominant.
		10x diameter=50'		
		8x diameter=40'		
		6x diameter=30'		
		Appraised value=\$21,400		

53P	Coast Live Oak	(<i>Quercus agrifolia</i>)	40.0	70 40/40 Good vigor, good form.
		10x diameter=33.3'		
		8x diameter=26.6'		
		6x diameter=20'		
		Appraised value=\$23,100		

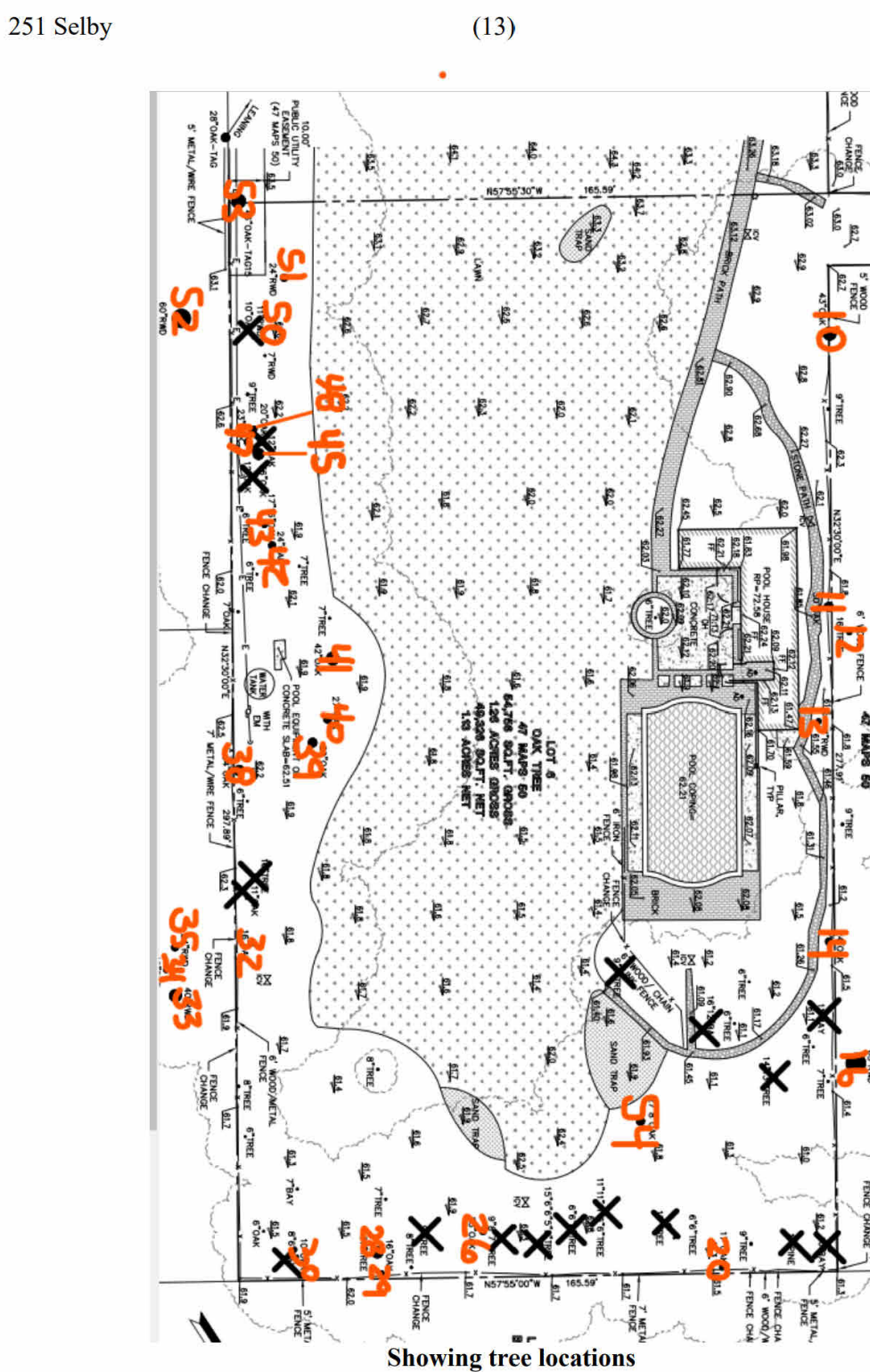


Showing trees #51-53

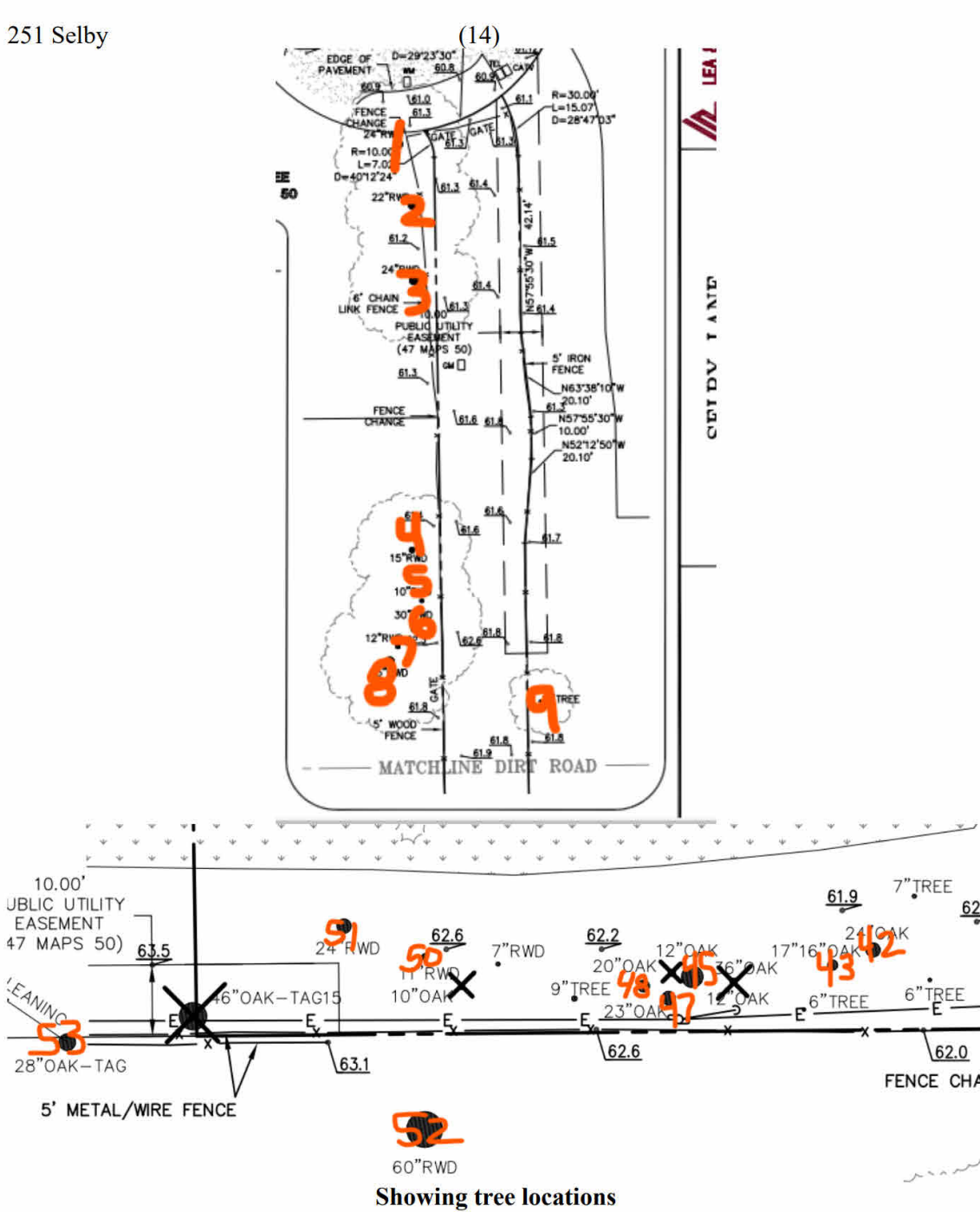
251 Selby (12)				
Survey:	Tree#	Species	DBH	CON HT/SPComments
54P/R	Coast Live Oak	(<i>Quercus agrifolia</i>)	25.4	60 45/40 Good vigor, fair form. FAILED TREE



Showing tree #54



Showing tree locations



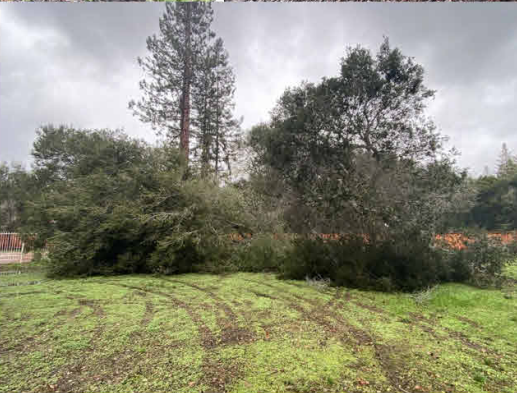
Showing tree locations

251 Selby (15)
Summary of site visit and Heritage trees:
The existing landscape at 251 Selby is in fair condition. The property was recently subdivided. The majority of the trees are on the perimeter of the property and is ideal for construction to take place while protecting the trees. Most of the trees have grown in a grove-like fashion. Many of the trees have developed heavy leans as a result. The trees on site were in need of maintenance pruning (crown reduction) to reduce risk of failures. All of the trees on site have been pruned using approved crown reduction pruning techniques to reduce risk of limb failures as a result of growing in suppressed growing conditions.

Trees #1-6, 8, 10-14, 16, 20, 26, 28, 32-35, 38-43, 45, 47, 48, and 51-54 are protected in the town of Atherton. Trees with a condition rating lower than 50 are considered poor trees and should be removed or mitigated. Future landscaping near the retained oak trees must maintain a dry area out to the tree driplines. It is important to understand that the native oak trees survive off of annual rainfall as they are native to the area. The only time oak trees are recommended to be irrigated is during the months of May and September during prolonged drought periods or if their root zones are to be traumatized.

Failed trees:

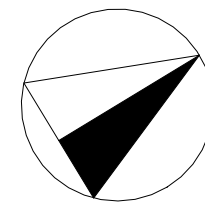
Coast live oak tree #26 and coast live oak tree #54 have failed in the previous winter storms of 2022/2023. The trees have since been removed from the site. Both trees were in poor condition. Below are photos showing the failed trees.



Showing failed trees #26 and #54

251 SELBY LN.
ATHERTON CA. 94027

OWNERS: SHILPI & RAKESH AGRAWAL



BEKOM
design

WWW.BEKOMDESIGN.COM
E-MAIL:
INFO@BEKOMDESIGN.COM
Tel: 408.203.4086
/ 408.726.0017

ISSUANCES

No.	Description	Date
1	PLN PRE-APPLICATION	10/10/2023
2	PC1 REV 1	04/25/2024
3	GEOTECH RESP.	06/05/2024
3	BLDG SUBMITTAL	06/13/2024

Checked By:

Checker

ARBORIST
REPORT 1

Drawing Scale: 1 1/2" = 1'-0"

Date: 2024/08/12

AC-0.3

251 Selby

(16)

Protected trees proposed for removal



Cottonwood tree #28 is in poor condition. 50% of the tree's canopy is dead. A history of limb loss was observed within the tree's canopy. A large area of decay was visible on the tree's trunk. This tree is expected to continue to decline and shed its limbs. Tree removal is recommended as the tree is a hazard to the property.

Showing Cottonwood #28



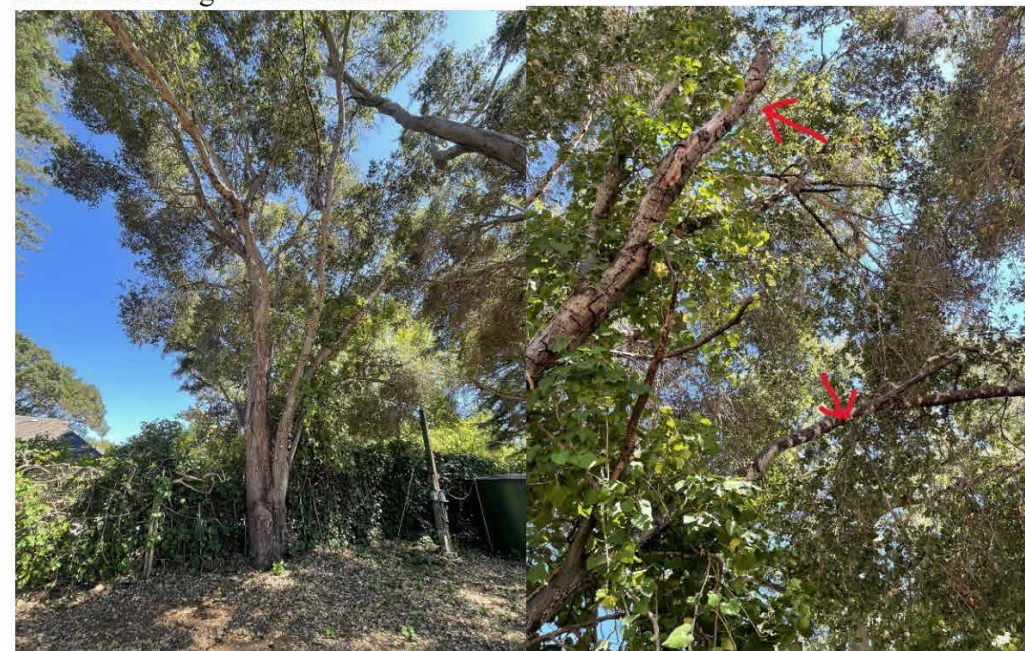
Coast Live Oak tree #32 is in poor condition. The tree heavily leans due to growing in suppressed conditions and is nearly growing horizontally. The tree is not expected to correct its lean. Tree removal is recommended as the tree is a hazard to the property. Tree failure is at high risk and no mitigation measures are expected to improve the risk of failure.

Showing Coast Live Oak tree #32

251 Selby

(17)

Coast Live Oak tree #38 was given a poor condition rating due to multiple dead limbs observed, a hollow cavity in the trunk, and included bark within multiple codominant unions. The tree is codominant at 4' with a tight union (included bark). The dead limbs are estimated at 6 and 8 inches in diameter and should be removed as soon as possible. A large hollow cavity on the tree's trunk was observed from grade to 3' on the back side of the trunk (closer to the property line). Due to the multiple problems with the tree's structure, it is recommended to remove the tree as it is at high risk of failure.



Showing Oak #38



Showing dead limbs

Showing included bark

Showing decay on trunk (backside)

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Coast Live Oak trees #39-41 are in fair condition. The trees make up a grove of 3 large Oak trees. Oak trees #39 and #41 suppress oak tree #40. Oak tree #40 grows a lean into the property. Risk of limb failure/tree failure is moderate due to the tree's lean. The other 2 large oak trees #39 and #41 have an upright form and are at a lower risk of failure. It is recommended to remove oak tree #40. Oak tree #40 is hazardous as a new home is to be built on site and the tree will be leaning towards the home and landscaping area. The removal of this tree will change wind loads for trees #41 and #39. Due to the increase in wind loads for trees #39 and #41 risk of failure is increased. All 3 trees are recommended to be removed as they are hazardous to the site.



Showing trees #39-41

Showing tree #40 growing at lean into property

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Coast Live Oak tree #43 is in poor condition due to growing in heavy suppressed conditions. The tree is codominant at grade with both codominant leaders leaning heavily away from each other at a 45 degree angle. Trunk failure is at high risk due to the poor form of the tree. The tree is recommended for removal due to the hazardous nature of the tree. The tree is growing into the future buildable area.

Showing tree #43 and heavy lean into site

Distances to proposed construction:

- The text below are multiple rules from the ordinance that are recommended to be followed where possible.
- R1-A Zoning District for lots of more than 10,000 square feet:
 - The TPZ is 10x away from all buildings and structures.
 - The TPZ is 8x away from any new driveway.
 - R1-B Zoning District and lots in the R1-A Zoning District that are 10,000 square feet or less:
 - The TPZ is 6x away from all buildings, structures, and new driveways.
 - For all lots:
 - The TPZ is 6x away from all CMU walls and 5x away from all wood or metal fences that require a permit.
 - The TPZ is 3x from all landscaping, Landscape Screening trees and bushes.
 - For replacement of existing driveways and/or new, proposed compacted surfaces, allow for replacement in the existing location, but in no cases less than 3 times (3x).

Town Arborist Exceptions:

- A Town Arborist exception from the TPZ standards noted in Section 2.2 (A) can be considered under any of the following scenarios:
- A TPZ exception in the R1-A from 10x the diameter, down to a minimum of 8x the diameter, for all development types unless otherwise specified.
 - A TPZ exception in the R1-A from 6x the diameter, down to a minimum of 3x the diameter, for lots in the R1-B, or lots in the R1-A 10,000 square foot or less.
 - A TPZ exception for all walls or fences from 6x the diameter, down to 3x the diameter

An application and fee are required to be completed prior to a Town Arborist TPZ exception review. Submitting and paying for the application does not guarantee approval to reduce the

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Tree #	DBH	Distance to work	Percentage of root zone
#33	40	26.6' or 8x DBH (from pool hardscape)	
#33	40	27.3' or 8.2x DBH (from sports court)	3.2% total

TREE #	TPZ AREA	INT. AREA	%
1	1257.0	215.0	17.1%
2	1052.0	192.0	18.3%
3	1257.0	277.0	22.0%
4	491.0	66.0	13.4%
6	855.0	96.0	11.2%
8	1359.0	193.0	14.2%
10	4026.0	1157.0	28.7%
11	1964.0	111.0	5.7%
16	9195.0	2285.0	24.9%
33	3486.0	113.0	3.2%
39	2145.0	292.0	13.6%

Showing the percentage of root zone impacts

Hardscape near oak tree #39

Proposed hardscapes are shown at 8x the diameter of oak tree #39. All excavation for hardscapes when within 10x the diameter of the tree is required to be done by hand under the direct supervision of the Project Arborist. All roots encountered within the foundation area measuring 1.5' in diameter or larger are recommended to be retained for the Project Arborist to inspect before being cleanly cut. Once inspected and documented, the roots will need to be cleanly cut using a hand saw or loppers. Cut root ends on the tree side are recommended to be covered by 3 layers of wetted-down burlap to help avoid root desiccation. The contractor shall wet down the burlap daily while exposed. The area between the tree and the hardscape (tree protection zone) is recommended to be irrigated every other week during the dry season until the top foot of the soil is saturated. This will act as a mitigation measure for the minor impacts. This work will be required to be documented by the town of Atherton with a letter sent to the town arborist. The percentage of root zone impacts for the tree is 6.9%.

Utilities

The proposed water line is shown at closer than 8x diameter near neighboring redwood trees #1-8. The sewer line is shown closer than 8x the diameter of neighboring redwood tree #3. A joint trench line is shown closer than 8x diameter of oak tree #10. These are the only utility lines that encroach closer to the minimal 8x diameter recommendation. The utility lines all run down the driveway and there is no way to move lines away from trees as this is the only entrance into the property. The rest of the utility line work has been moved to a minimum of 8x the diameter of the trees as previously recommended. The utility lines are recommended to be excavated by

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4. The consultant/appraiser shall not be required to give testimony or to attend court by reason of this report unless subsequent contractual arrangements are made, including payment of an additional fee for such services as described in the fee schedule and contract of engagement.

5. Loss, alteration, or reproduction of any part of this report invalidates the entire report.

6. Possession of this report or a copy thereof does not imply right of publication or use for any purpose by any other than the person to whom it is addressed, without the prior expressed written or verbal consent of the consultant/appraiser.

7. Neither all nor any part of this report, nor any copy thereof, shall be conveyed by anyone, including the client, to the public through advertising, public relations, news, sales or other media, without the prior expressed written or verbal consent of the consultant/appraiser particularly as to value conclusions, identity of the consultant/appraiser, or any reference to any professional society or initiated designation conferred upon the consultant/appraiser as stated in his qualification.

8. This report and the values expressed herein represent the opinion of the consultant/appraiser, and the consultant/appraiser's fee is in no way contingent upon the reporting of a specified value, a stipulated result, the occurrence of a subsequent event, nor upon any finding to be reported.

9. Sketches, diagrams, graphs, and photographs in this report, being intended as visual aids, are not necessarily to scale and should not be construed as engineering or architectural reports or surveys.

10. Unless expressed otherwise: 1) information in this report covers only those items that were examined and reflects the condition of those items at the time of inspection; and 2) the inspection is limited to visual examination of accessible items without dissection, excavation, probing, or coring. There is no warranty or guarantee, expressed or implied, that problems or deficiencies of the plants or property in question may not arise in future.

ARBORIST DISCLOSURE STATEMENT

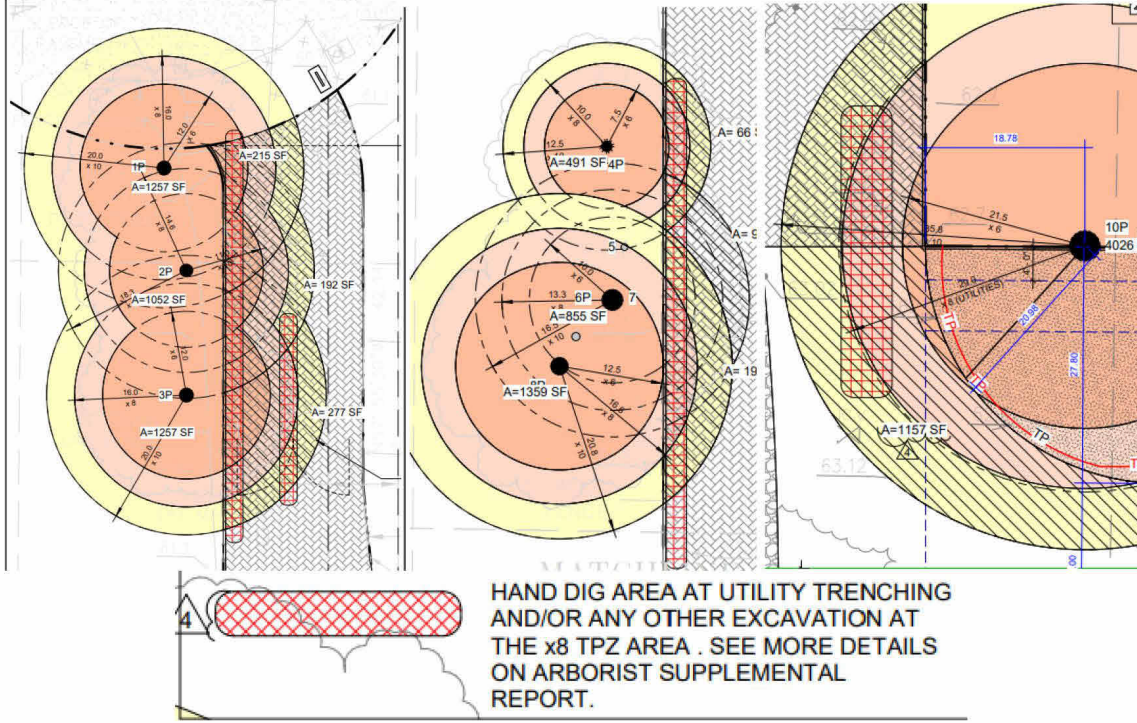
Arborists are tree specialists who use their education, knowledge, training and experience to examine trees, recommend measures to enhance the beauty and health of trees, and attempt to reduce the risk of living near trees. Clients may choose to accept or disregard the recommendations of the arborist, or seek additional advice.

Arborists cannot detect every condition that could possibly lead to the structural failure of a tree. Trees are living organisms that fail in ways we do not fully understand. Conditions are often hidden within trees and below ground. Arborists cannot guarantee that a tree will be healthy or safe under all circumstances, or for a specified period of time. Likewise, remedial treatments, like a medicine, cannot be guaranteed.

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hand in combination with an air knife and other hand tools such as a rotary hammer with a clay spade attachment and shovels. This work shall be done under the direct supervision of the project arborist when working within 10x the diameter of the trees. All encountered roots are required to be left exposed and as damage-free as possible while getting to the required depth of the trench. Roots to be left exposed are recommended to be covered/wrapped in layers of wetted-down burlap. The contractor is required to soak down the burlap daily with water to help avoid root desiccation. The utility lines are then recommended to be tunneled underneath or beside roots where possible to avoid the need to cut tree roots. Any root that needs to be cut measuring 1.5' in diameter or larger shall first be shown to the project arborist before being cleanly cut with loppers or a handsaw. All roots to be cut are required to be documented by the project arborist. Only roots in the direct line of the trench that cannot be tunneled underneath shall be cut. Once the work is complete, the trench is recommended to be immediately backfilled and irrigated until the top 3' of soil is saturated. If done as recommended under the project arborist's supervision, impacts are expected to be minor. It is recommended to deep water fertilize the trees with Nutriroot where excavation has taken place closer than 10x diameter once the work has been completed as an additional mitigation measure for any minor impacts and to maintain irrigation for the trees. The redwood trees are recommended to be irrigated every other week during the dry season. It is recommended to install an inline drip emitter system set up in a grid like manner to provide deep irrigation during the dry season within the tree protection zones. The irrigation system should be placed on top of grade and require no excavation. This will help to keep the trees healthy. The oak trees shall only be irrigated under the project arborist's direction as oak trees are sensitive to irrigation.

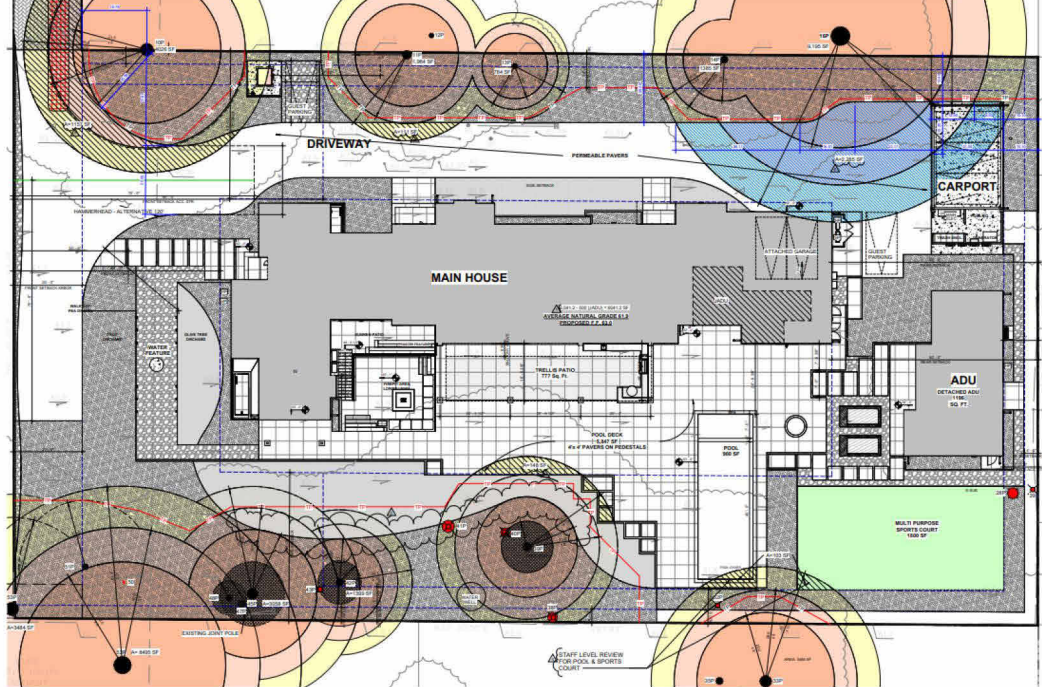


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Tree Protection Plan:

In the town of Atherton, tree protection fencing should be placed at 8 to 10 times diameter as required. Tree protection zones should be established and maintained throughout the entire length of the project. Fencing for the protection zones should be 6 foot tall metal chain link (minimum 12 gauge) supported by 2 inch galvanized iron post pounded into the ground by no less than 6 feet. The support poles should be spaced no more than 10 feet apart on center. This detail shall appear on grading, demolition, and building permit plans. The location for the protection fencing can be determined by the formula: 8-10 times diameter. Any deviation in determining the tree protection zone will require approval by the Town Arborist. I have approved tree protection fencing being reduced for trees near the proposed work on site. Where the proposed work is to take place within the 10x diameter area of a protected tree, the fencing shall be placed as close as possible to the proposed work. No excavation shall be allowed inside tree protection zones without the Site Arborist consent. Signs should be placed on fencing signifying "Tree Protection Zone - Keep Out". No materials or equipment should be stored or cleaned inside the tree protection zones. It is recommended to mulch the tree protection zones using 4-6 inches of wood chips. Tree protection fencing can only be removed at the end of the project by approval from the Town Arborist. The town of Atherton will require at Tree Protection Procedure Acknowledgement Signature to be signed by the owner of the property or contractor, acknowledging the existence of Heritage Trees on the property and that the Town's Standards and Specifications will be followed throughout the length of the project. Verification that all tree protection fencing measures have been installed will be needed before the issuing of permits as required by the Town. A site meeting with the general contractor, Town Arborist, and Site Arborist before the project starts will be required to review tree protection measures and to establish haul routes, staging areas, etc.



Red lines indicating tree protection zones, and neighboring trees along the driveway entrance to be protected by the existing fence at the property.

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Root cutting

Any roots to be cut should be monitored and documented. Large roots measuring 2 inches in diameter or larger will need to be inspected by the Project Arborist before being cut. If possible roots should be cut back to sound lateral roots under the supervision of the Project Arborist. The Project Arborist will likely recommend irrigation if root cutting is significant. Cut all roots clean with a saw or loppers. Roots to be left exposed for a period of time should be covered with layers of burlap and kept moist. The Project Arborist will be on site for excavation near all protected trees on site. If injury is to take place to tree roots proper mitigation measures will need to be applied.

Trenching

Trenching for irrigation, electrical, drainage or any other reason should be hand dug in combination with an air spade when beneath the driplines of protected trees. Hand digging and carefully laying pipes below or beside protected roots will dramatically reduce root loss of desired trees thus reducing trauma to the entire tree. Trenches should be backfilled as soon as possible with native material and compacted to near its original level. Trenches that must be left exposed for a period of time should also be covered with layers of burlap and kept moist. Plywood over the top of the trench will also help protect exposed roots below. All trenching within a tree protection zone will need to be observed by the Site Arborist so that proper mitigation measures can be applied. Any Trenching less than 10x the diameter (dbh) is required to be hand dug including exploratory Trenching if approved to trench closer than 10x.

Grading

The grading contractors are required to meet with the Project Arborist and the Town Arborist at the site prior to beginning grading to review tree protection measures. The Project Arborist shall perform an inspection during the course of rough grading adjacent to the tree protection zone to ensure trees will not be injured by compaction, cut or fill, drainage and trenching, and if required, inspect aeration systems, tree wells, drains and special paving. The Site Arborist shall be notified at least 48 hours before an inspection is needed. If compaction from grading has taken place within a tree protection zone proper mitigation measures will need to be applied.

Irrigation

Normal irrigation should be maintained throughout the entire length of the project. The imported trees on this site will require irrigation during the warm season months. Some irrigation may be required during the winter months depending on the seasonal rainfall. During the summer months the trees on this site should receive heavy flood type irrigation 2 times a month. During the fall and winter 1 time a month should suffice. Mulching the root zone of protected trees will help the soil retain moisture, thus reducing water consumption. The native oak trees on site shall not be irrigated unless their root zones are traumatized. Any existing irrigation underneath native oak trees should be permanently suspended. Oak trees shall only be irrigated during the months of May and September.

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Required Inspections

A. Pre-Construction Meeting

Prior to commencement of construction, the applicant or contractor shall conduct a pre-construction meeting to discuss tree protection with the job site superintendent, grading equipment operators, Project Arborist, and Town Arborist.

B. Inspection of Protective Tree Fencing

The Town Arborist shall be in receipt of a written statement from the applicant or Project Arborist verifying that he has conducted a field inspection of the trees and that the protective tree fencing is in place prior to issuance of a demolition, grading, or building permit.

C. Inspection of Rough Grading

The project arborist shall perform an inspection during the course of rough grading adjacent to the TPZ to ensure trees will not be injured by compaction, cut or fill, drainage and trenching, and if required, inspect aeration systems, tree wells, drains and special paving. The contractor shall provide the Project Arborist at least 48 hours advance notice of such activity.

D. Monthly Inspections

The Project Arborist shall perform monthly inspections to monitor changing conditions and tree health and submit a written report to the Town Arborist.

E. Special Activities within the Tree Protection Zone

Work in this area (TPZ) requires the direct onsite supervision of the Project Arborist.

Kiely Arborist Services can be reached at 650 532 4418 (David), or by email at david@kielyarborist@gmail.com. This information should be kept on site at all times. The information included in this report is believed to be true and based on sound arboricultural principles and practices.

Sincerely, *David Beckham*
David Beckham Certified Arborist WE#10724A TRAQ Qualified

Kiely Arborists Services

P.O. Box 6187
San Mateo, CA 94403
650-532-4418

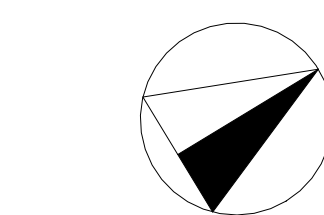
ASSUMPTIONS AND LIMITING CONDITIONS

1. Any legal description provided to the consultant/appraiser is assumed to be correct. Any titles and ownerships to any property are assumed to be good and marketable. No responsibility is assumed for matters legal in character. Any and all property is appraised or evaluated as though free and clear, under responsible ownership and competent management.

2. It is assumed that any property is not in violation of any applicable codes, ordinances, statutes, or other government regulations.

3. Care has been taken to obtain all information from reliable sources. All data has been verified insofar as possible; however the consultant/appraiser can neither guarantee nor be responsible for the accuracy of information provided by others.

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ATHERTON CA. 94027
OWNERS: SHILPI & RAKESH AGRAWAL



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E-MAIL:
INFO@BEKOMDESIGN.COM
Tel: 408.203.4086
/408.725.0017

ISSUANCES

No.	Description	Date
1	PLN PRE-APPLICATION	10/10/2023
2	GEOTECH RESP.	06/05/2024
3	BLDG SUBMITTAL	06/13/2024
4	BLDG PCC1	07/15/2024

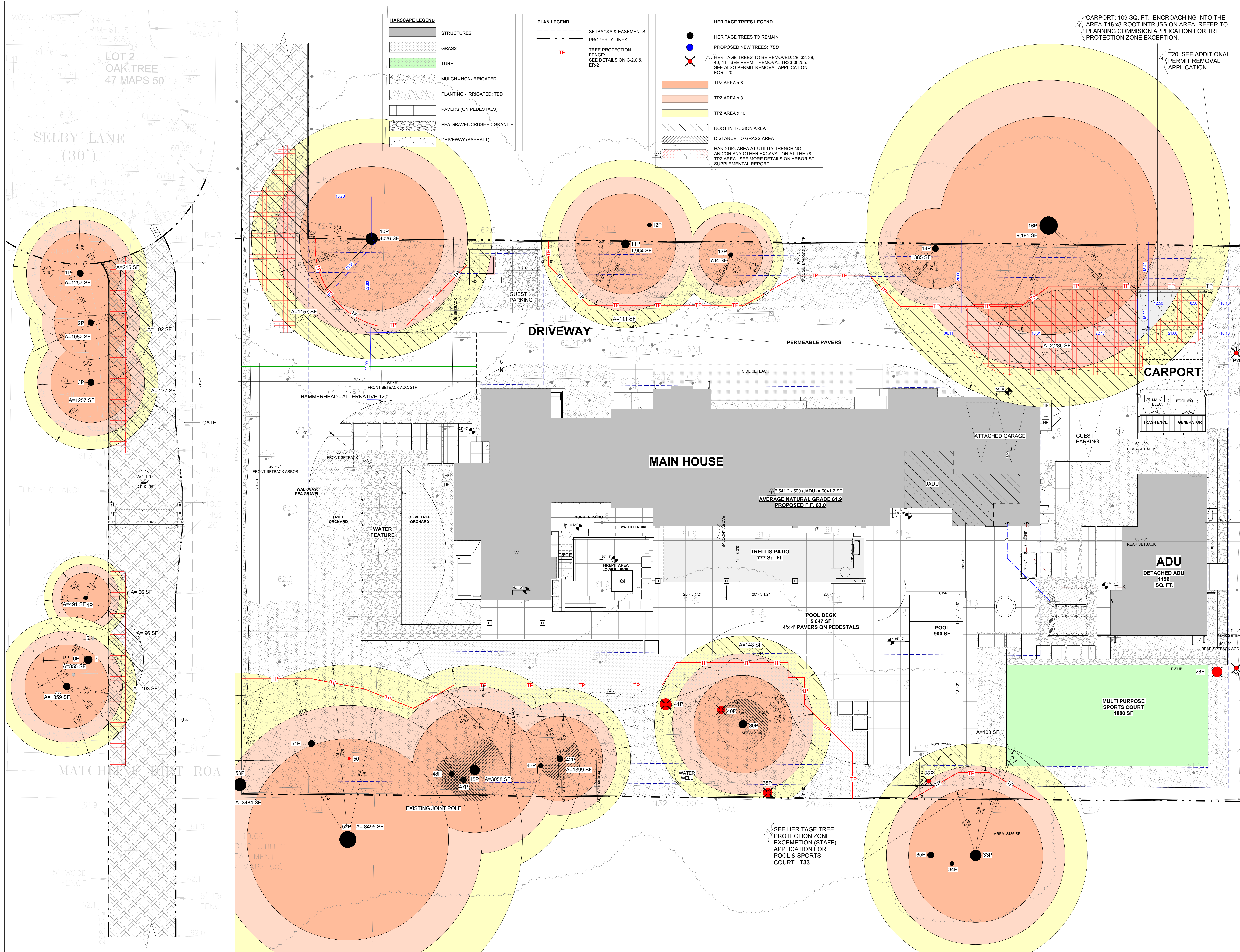
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Checker: _____

ARBORIST
REPORT
CONT. 1

Drawing Scale: 1 1/2" = 1'-0"

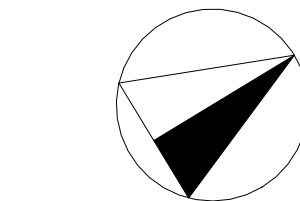
Date: 2024/08/12

AC-0.3.1



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Tel: 408.203.4896
/408.725.0017
S. Agrawal

No.	Description	Date
1	PLAN PRE-APPLICATION	10/10/2023
2	PC1 REV 1	04/25/2024
3	GEOTECH RESP.	06/05/2024
4	BLDG SUBMITTAL	06/13/2024
5	BLDG PCC1	07/15/2024

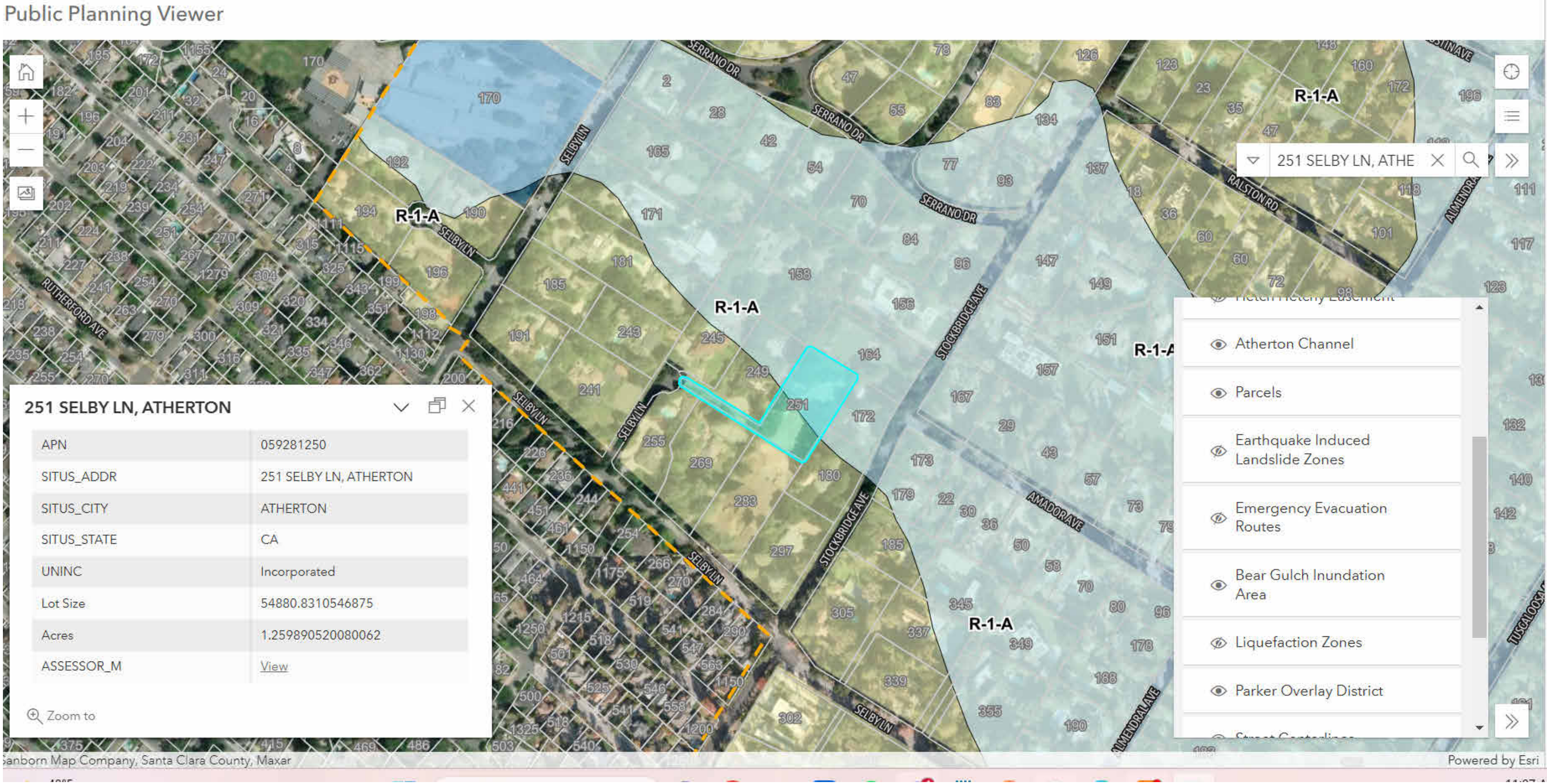
Checked By: Checker

PROPOSED
TPZ PLAN 1

Drawing Scale: 1" = 10'-0"

Date: 2024/08/12

AC-0.4



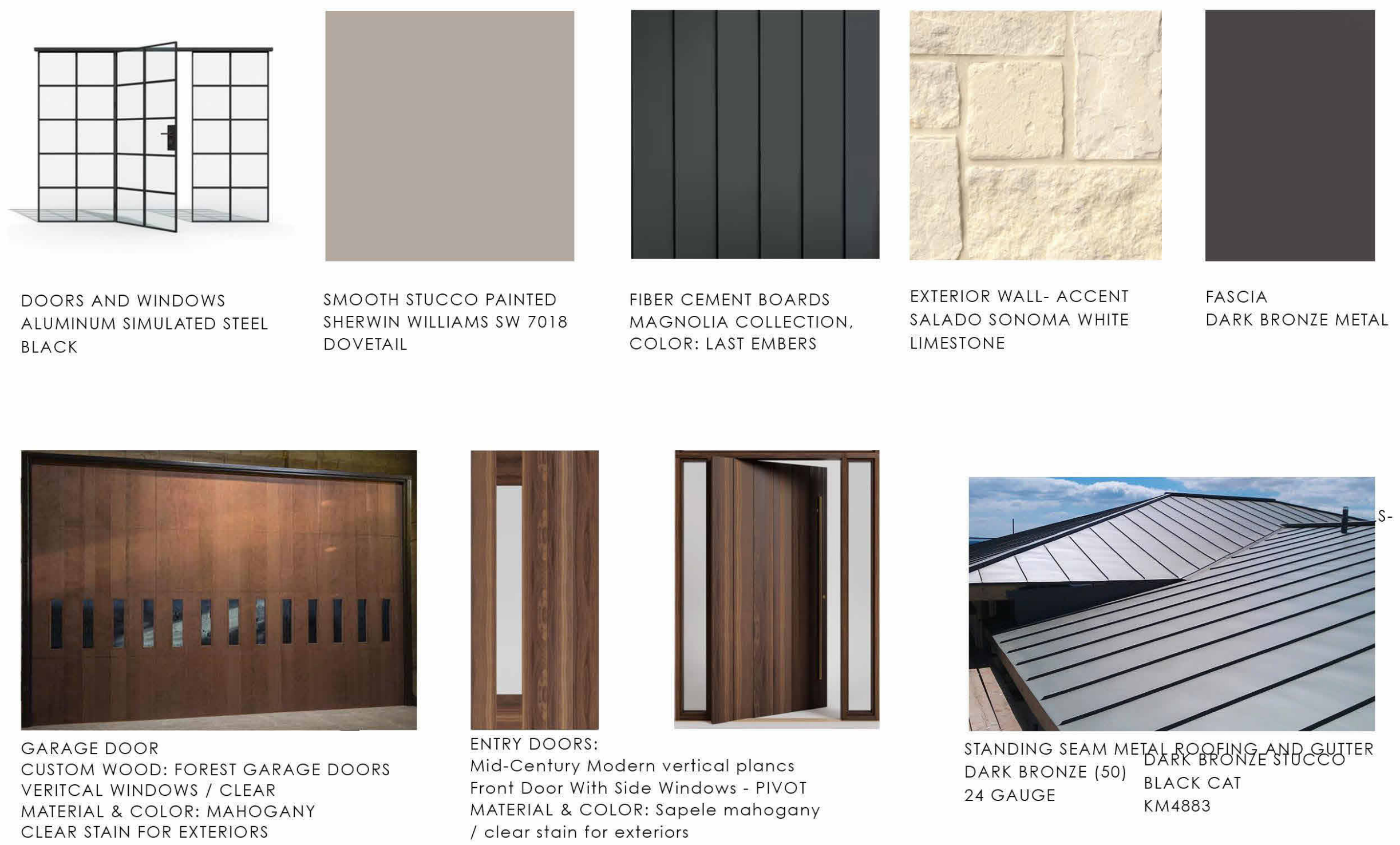
1 PROPERTY ZONING DATA Copy 1
1/4" = 1'-0"



3 3D VIEW LOGGIA Copy 1
NOT TO SCALE



5 EX - EXTERIOR REAR VIEW Copy 1
NOT TO SCALE



251 SELBY LN- EXTERIOR MATERIAL BOARD

BEKOM
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2 MATERIAL BOARD Copy 1
1 1/2" = 1'-0"



4 3D - EX - FROM MBR Copy 1
NOT TO SCALE



6 CARPORT 3D VIEWS Copy 1

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ISSUANCES		
No.	Description	Date
1	PLN PRE-APPLICATION	10/10/2023
1	PC1 / REV 1	04/25/2024
2	GEOTECH RESP.	06/05/2024
3	BLDG SUBMITTAL	06/13/2024

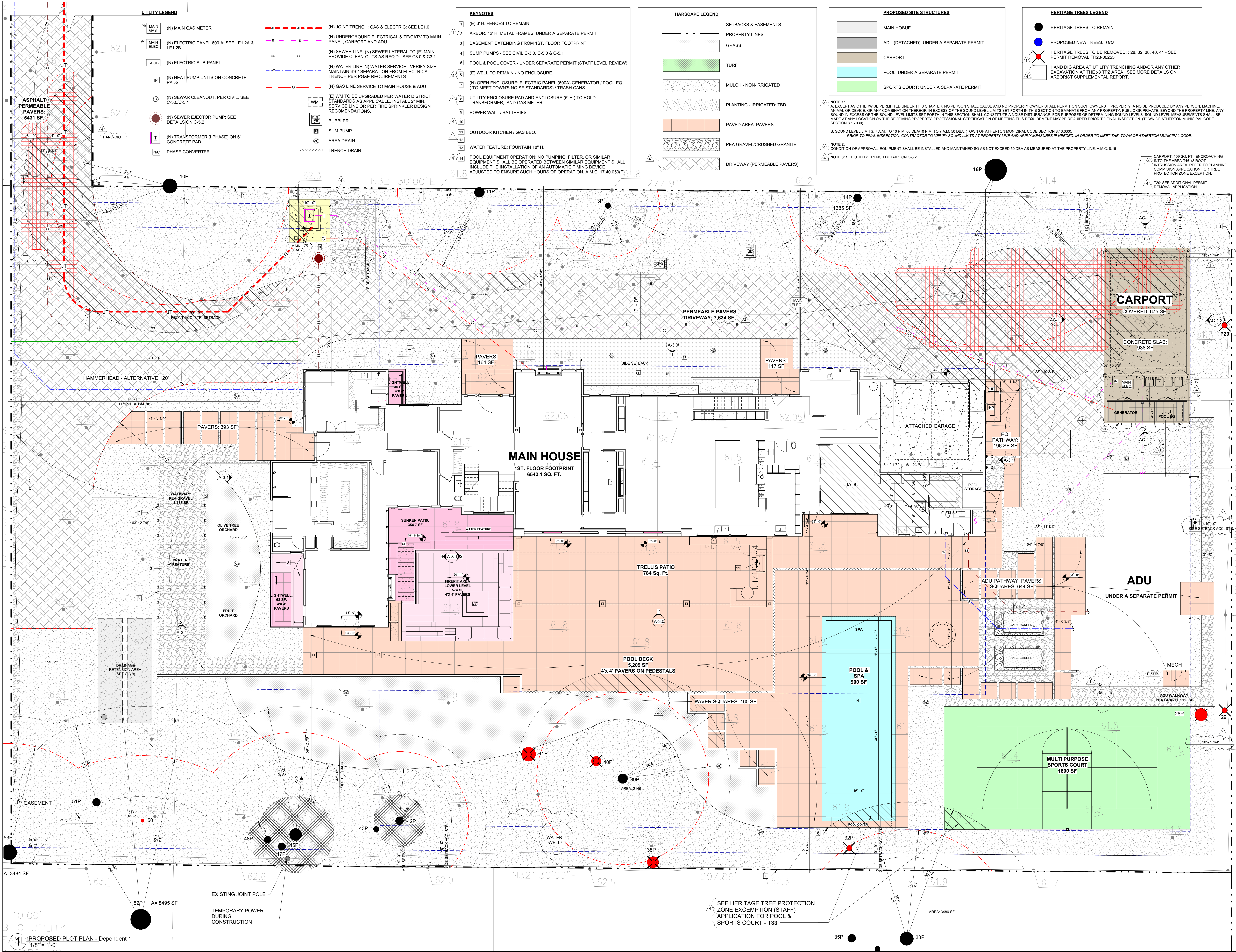
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3D VIEWS /
MATERIAL
BOARD /
PROPERTY
FLOOD ZONE
DATA 1

Drawing Scale: As indicated

Date: 2024/08/12

AC-0.5



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No.	Description	Date
1	PLN PRE-APPLICATION	10/10/2023
2	PC1 REV 1	04/25/2024
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4	BLDG SUBMITTAL	06/13/2024
5	BLDG PCC1	07/15/2024

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PROPOSED
PLOT PLAN 1

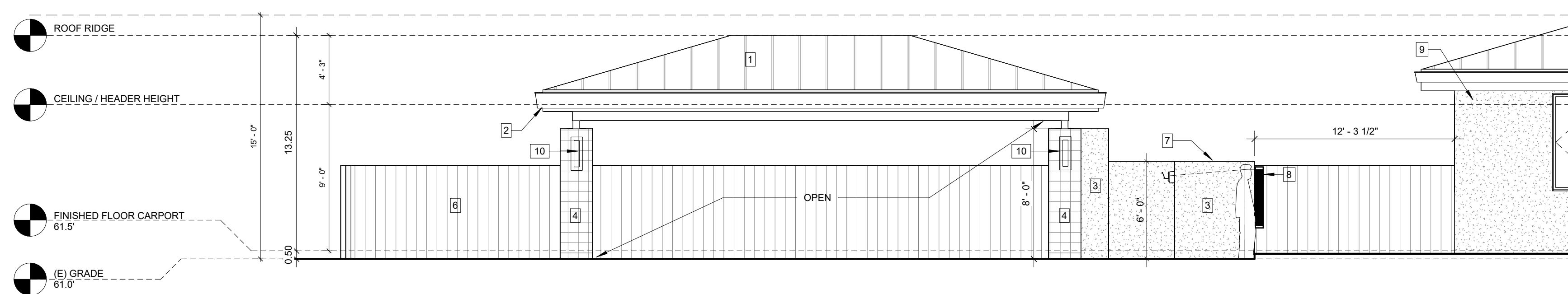
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Date: 2024/08/12

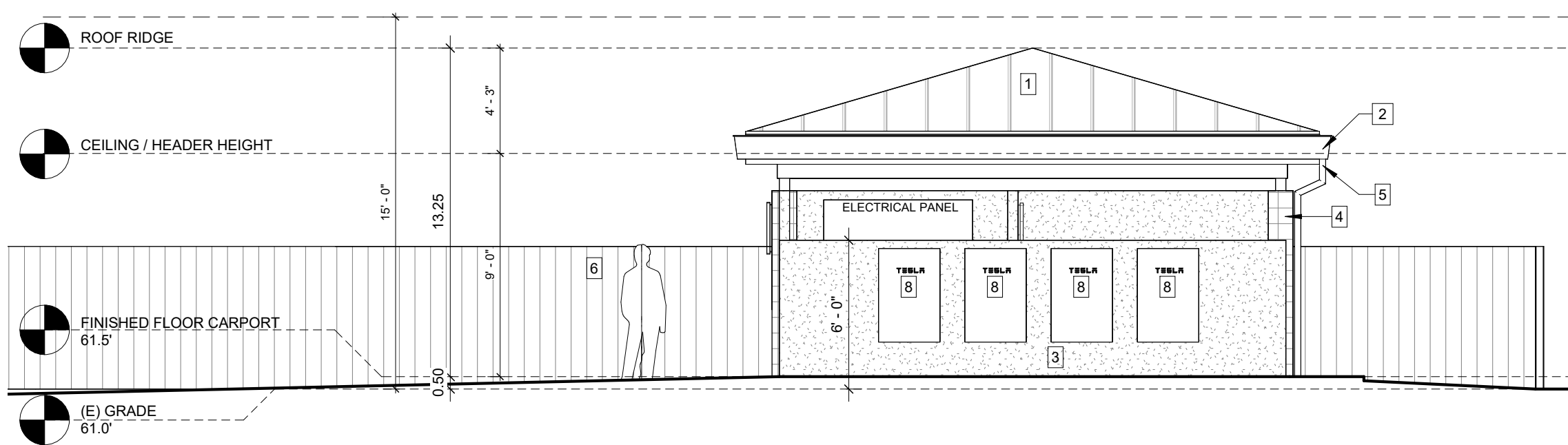
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KEYNOTES:

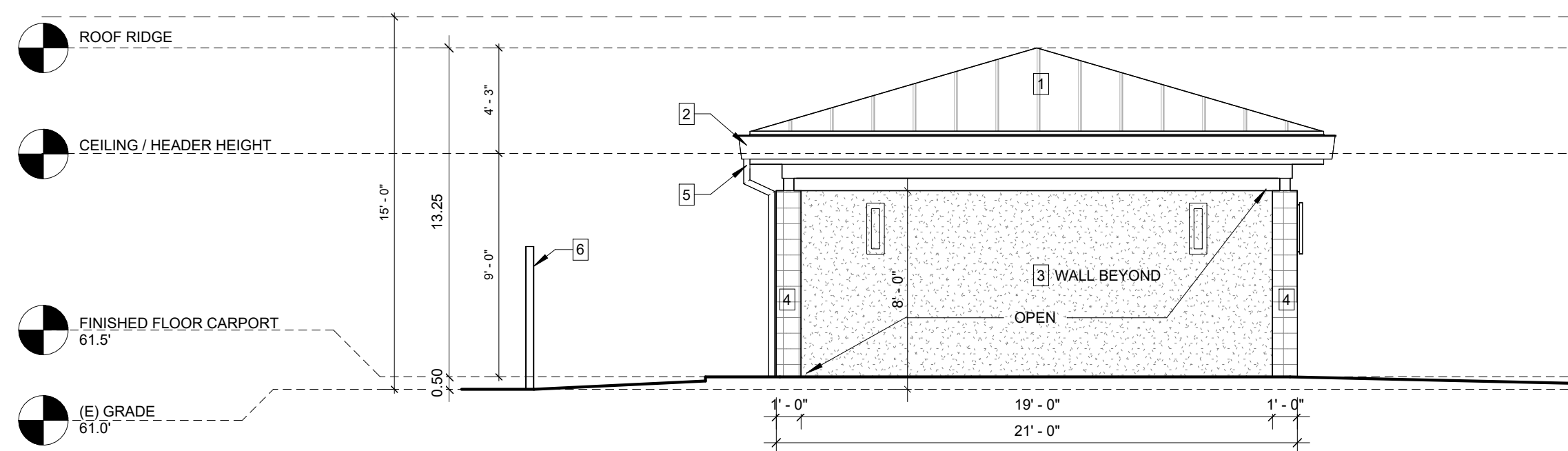
- | | | | | |
|---|---|----|--|--|
| 1 | METAL ROOF: STANDING SEAM MS METAL SALES: MAGNA LOCK / DARK BRONZE | 4 | 17 | COVERED ENCLOSURE FOR DEFENDER AND POOL EQUIPMENT |
| 2 | WOOD PANTED FASCIA TO MATCH ROOF AND GUTTERS | | 8 | SOLAR BATTERIES: DEFENDER PERMIT |
| 3 | SMOOTH STUCCO FINISH: BENJAMIN MOORE 904 WHITE BLUSH | 9 | DETACHED ACH - UNDER A SEPARATE PERMIT | |
| 4 | STONE VENEER: SALADO STONE / WHITE | 10 | 10 | EXTERNAL LIGHTS SCENES: SHIELDED OR "DAY ON" LIGHT
SEE DETAILS ON SHEET A-4.4 & 4.5 (SEE L-1) - 1" ON LIGHT
SCHEDULE |
| 5 | DOWNSPUTS & GUTTERS: METAL / ANODIZED METAL /
RECTANGULAR PROFILE 3.5"W. X 8"H / COLOR: TO MATCH
ROOF | | 6 | FENCE BEYOND |



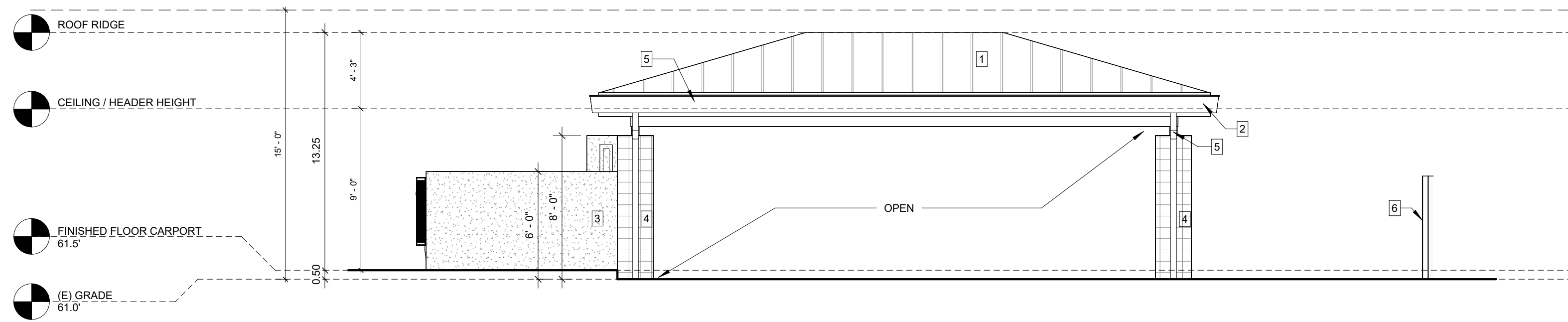
1 CARPORT SOUTH ELEVATION Copy 1
3/16" = 1'-0"



3 CARPORT WEST ELEVATION Copy 1
3/16" = 1'-0"



4 CARPORT EAST ELEVATION Copy 1
3/16" = 1'-0"



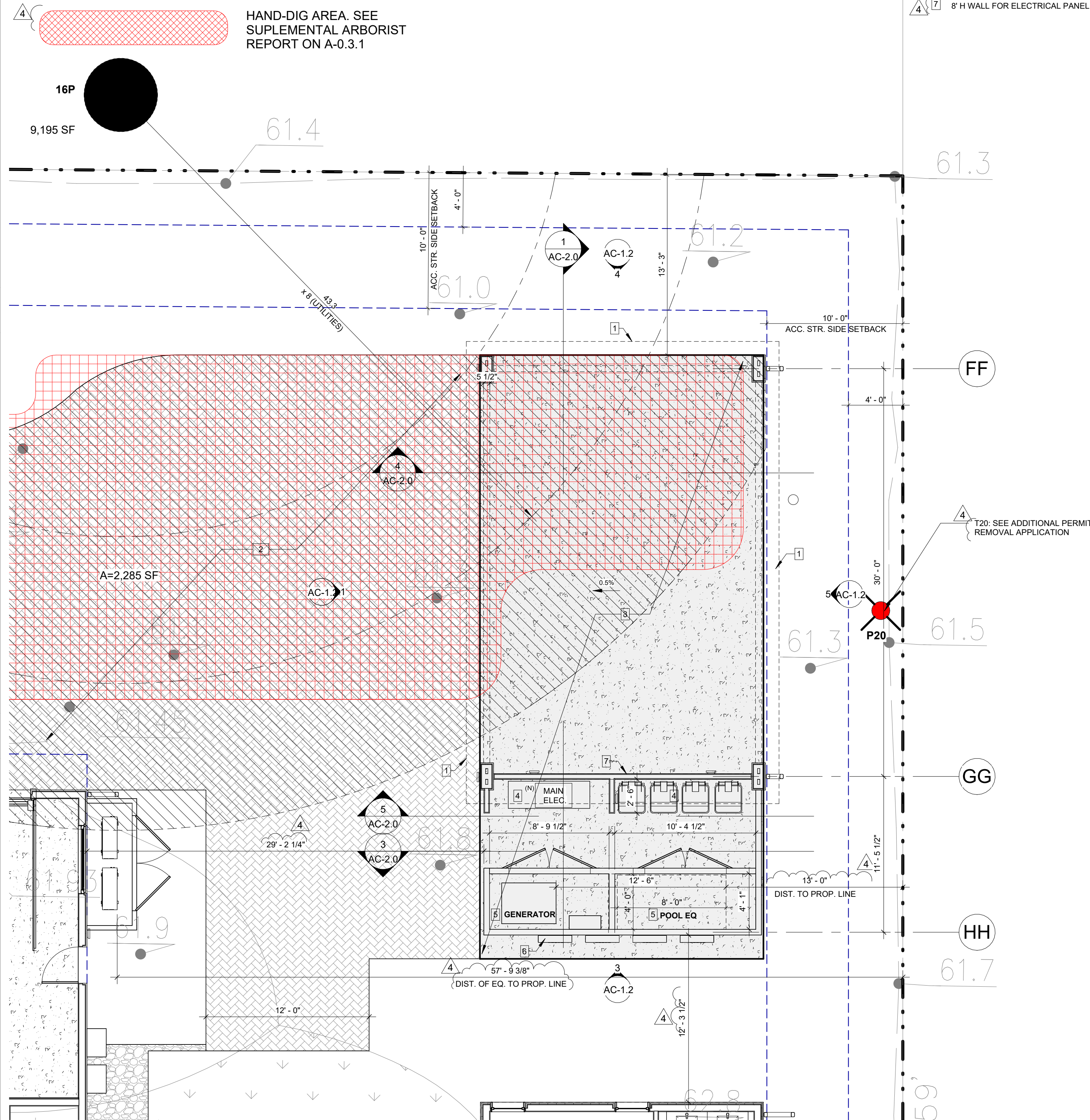
5 CARPORT NORTH ELEVATION Copy 1
3/16" = 1'-0"

NOTE:
A. EXCEPT AS OTHERWISE PERMITTED UNDER THIS CHAPTER, NO PERSON SHALL CAUSE OR NO PERSON OWNER SHALL PERMIT ON SUCH OWNERS PROPERTY A SOUND PRODUCED BY ANY POWER MACHINE, ANIMAL OR DEVICE, OR ANY COMBINATION THEREOF, IN EXCESS OF THE SOUND LEVEL LIMITS SET FORTH IN THIS SECTION. NO PERSON SHALL CAUSE OR NO PERSON OWNER SHALL PERMIT ON SUCH OWNERS PROPERTY LINE, ANY SOUND IN EXCESS OF THE SOUND LEVEL LIMITS SET FORTH IN THIS SECTION SHALL CONSTITUTE A NOISE DISTURBANCE FOR PURPOSES OF THIS CHAPTER. ANY SOUND IN EXCESS OF THE SOUND LEVEL LIMITS SET FORTH IN THIS SECTION SHALL BE CONSIDERED A VIOLATION OF THIS CHAPTER. THE LOCATION ON THE RECEIVING PROPERTY, PROFESSIONAL CERTIFICATION OF MEETING THIS REQUIREMENT MAY BE REQUIRED PRIOR TO FINAL INSPECTION. (TOWN OF ATRERION MUNICIPAL CODE SECTION 8.16.030)

B. SOUND LEVEL LIMITS: 7 A.M. TO 10 P.M. 60 DB(A) PM TO 7 A.M. 50 DB(A). (TOWN OF ATRERION MUNICIPAL CODE SECTION 8.16.030)

PRIOR TO FINAL INSPECTION, CONTRACTOR TO VERIFY SOUND LIMITS AT PROPERTY LINE AND APPLY MEASURES IF NEEDED. IN ORDER TO MEET THE REQUIREMENTS OF THIS CHAPTER, THE FOLLOWING REQUIREMENTS MUST BE MET:

HAND-DIG AREA. SEE
SUPPLEMENTAL ARBORIST
REPORT ON A-0.3.1



2 PROPOSED CARPORT FLOOR PLAN Copy 1
3/16" = 1'-0"

[illegible]

SAMSUNG

SUBMITTAL AM144BX/GFR/AA
Remring, DVM S2 Series, Heat Recovery Condensing Unit
Dimensional Drawing

Page 2 of 2

ADU BR 1

Section B-B

Technical drawing of Section B-B, showing a cross-section of the unit's base. It includes labels for various parts like the condenser coils and refrigerant pipes.

Detail A (Scale 1:2)

Technical drawing of Detail A at a scale of 1:2. It shows a mounting bracket with four screws. Dimensions include overall width of 15.51 inches, screw hole diameter of 0.50 inches, distance between holes of 8.11 inches, and total height of 4.93 inches.

Technical drawing of the front view of the unit. The panel has a width of 21.15 inches and a height of 30.18 inches. There are several circular knockouts arranged in two vertical columns.

Technical drawing of the side view of the unit. It shows the internal structure, including the condenser coils and refrigerant pipes. Key dimensions include a total height of 69.52 inches, a base width of 27.11 inches, and a depth of 11.38 inches. Callout A points to a specific component near the bottom left.

Technical drawing of the rear view of the unit. The panel has a width of 21.15 inches and a height of 69.52 inches. It features a grid of rectangular knockouts.

Notes

1. Detail A and SECTION B-B indicate the dimensions after connecting piping.
2. View C indicates knockout hole dimensions (bottom).

No.	Description	Remark
1.	Gas refrigerant pipe	1.34"
2.	High pressure gas refrigerant pipe	7.8"
3.	Liquid refrigerant pipe	1.2"
4.	Power cord/knockout	1.34"
5.	Communication wire knockout	1.33"
6.	Knockout for refrigerant piping	Bottom
7.	Knockout for refrigerant piping	Front

View C

Technical drawing of View C, showing the bottom of the unit. It details the knockout holes for various pipes. Dimensions include a total width of 32.33 inches, individual hole widths of 3.33 inches and 7.81 inches, and a total length of 45.12 inches. Labels indicate 'Foundation bolt holes' and 'Foundation hole pitch'.

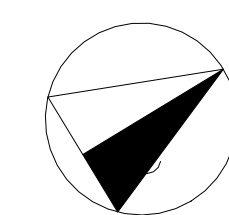
Foundation bolt holes

Foundation hole detail

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ISSUANCES

No.	Description	Date
	PLN PRE-APPLICATION	10/10/20
1	PC1 / REV 1	04/25/20
2	GEOTECH RESP.	06/05/20
3	BLDG SUBMITTAL	06/13/20
4	BLDG PCC1	07/15/20

Checked By: _____ Checker: _____

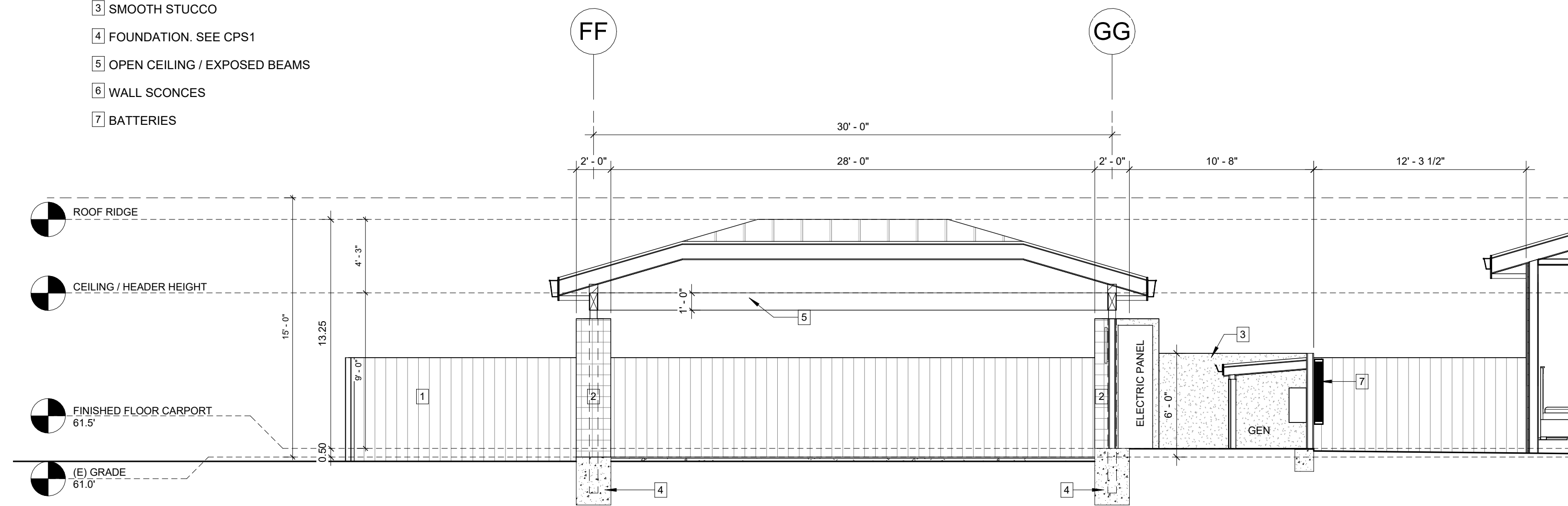
PROPOSED CARPORT FLOOR PLAN & ELEVATIONS

Drawing Scale: As indicated

Date: 2024/08/1

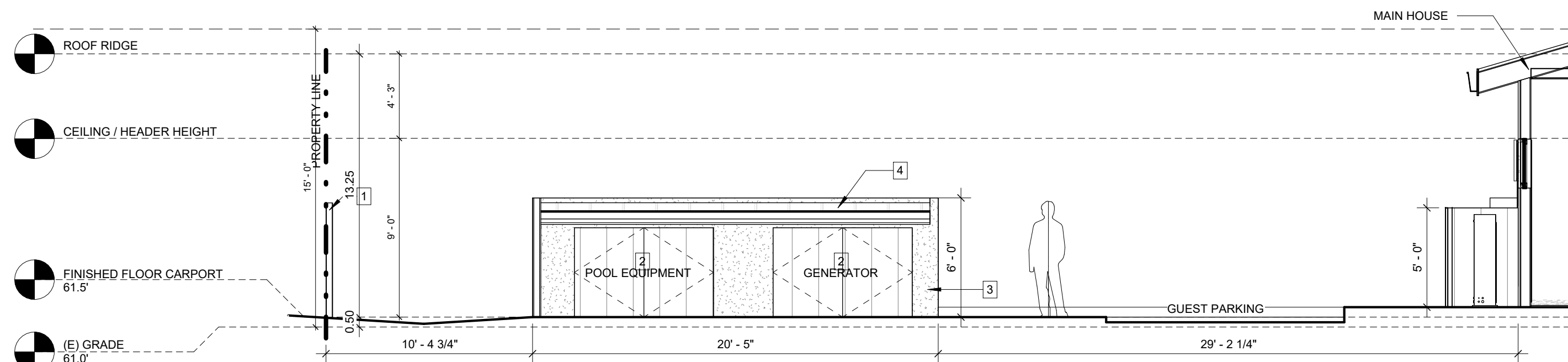
AC-1.2

- 1 FENCE BEYOND
- 2 STONE VENEER FINISH
- 3 SMOOTH STUCCO
- 4 FOUNDATION. SEE CPS1
- 5 OPEN CEILING / EXPOSED BEAMS
- 6 WALL SCONCES
- 7 BATTERIES



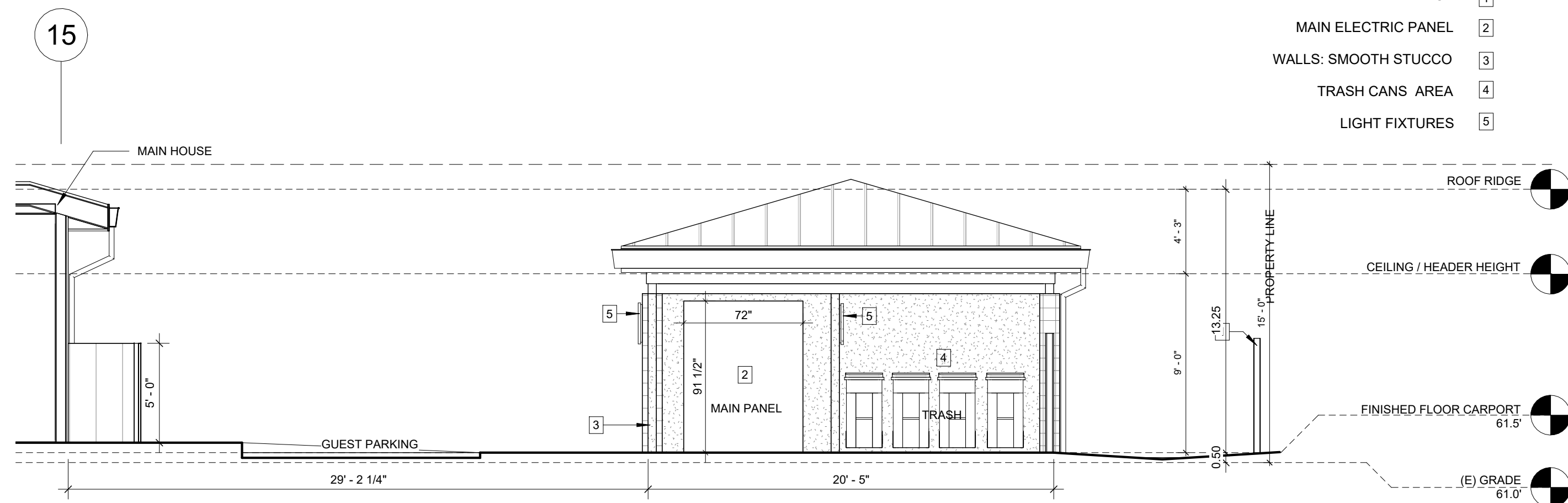
1 CARPORT SECTION 1 - Dependent 1
3/16" = 1'-0"

- 1 FENCE
- 2 SOLID CORE DOORS TREATED FOR EXTERIORS
- 3 WALLS: SMOOTH STUCCO
- 4 FOUNDATION. SEE CPS1
- 5 ROOF: TO MATCH CARPORT



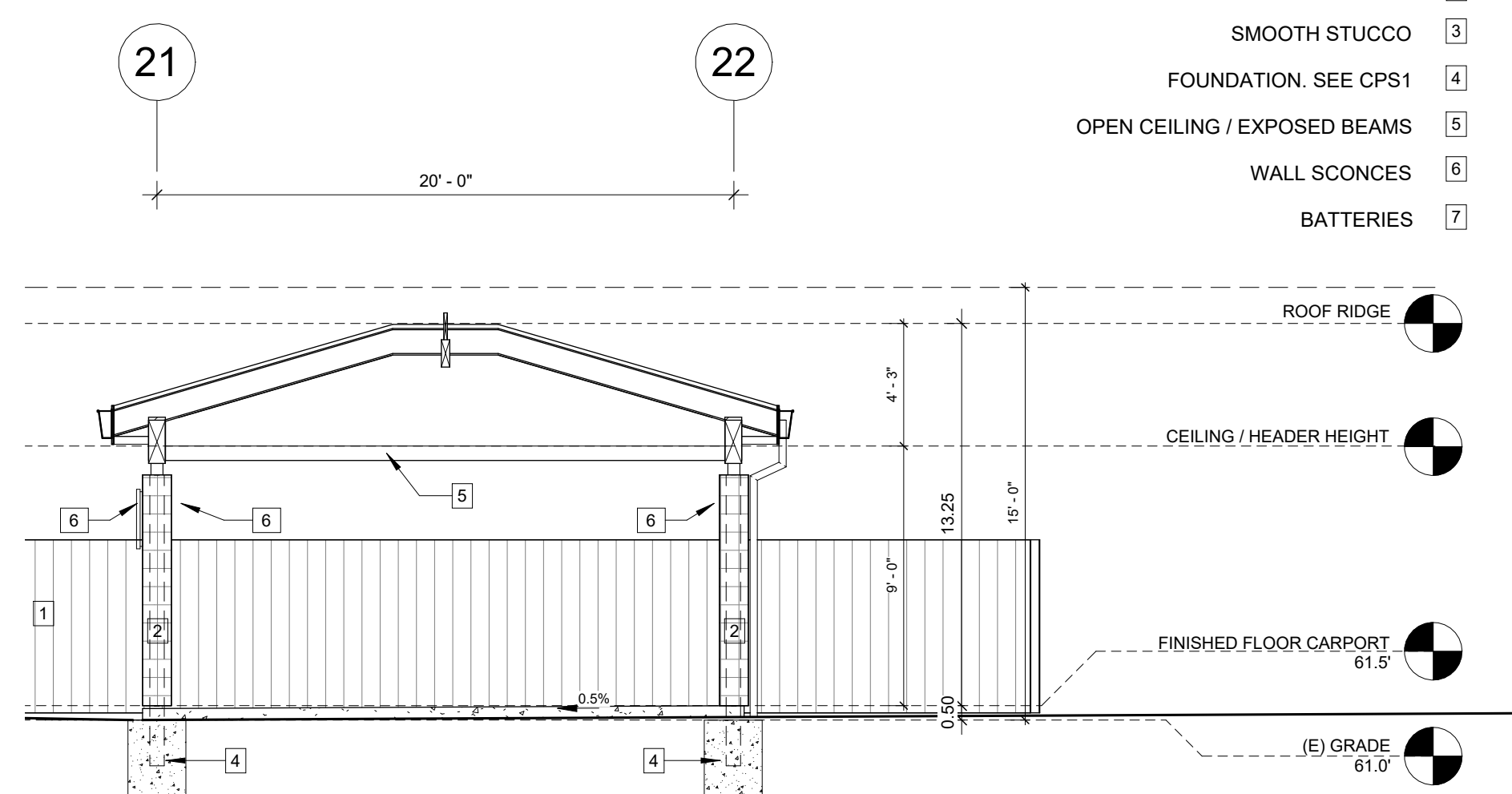
3 CARPORT SECTION 3 - Dependent 1
3/16" = 1'-0"

FENCE	1
MAIN ELECTRIC PANEL	2
WALLS: SMOOTH STUCCO	3
TRASH CANS AREA	4
LIGHT FIXTURES	5



5 CARPORT SECTION 4
3/16" = 1'-0"

FENCE BEYOND	1
STONE VENEER FINISH	2
SMOOTH STUCCO	3
FOUNDATION. SEE CPS1	4
OPEN CEILING / EXPOSED BEAMS	5
WALL SCONCES	6
BATTERIES	7



4 CARPORT SECTION 2 - Dependent 1
3/16" = 1'-0"

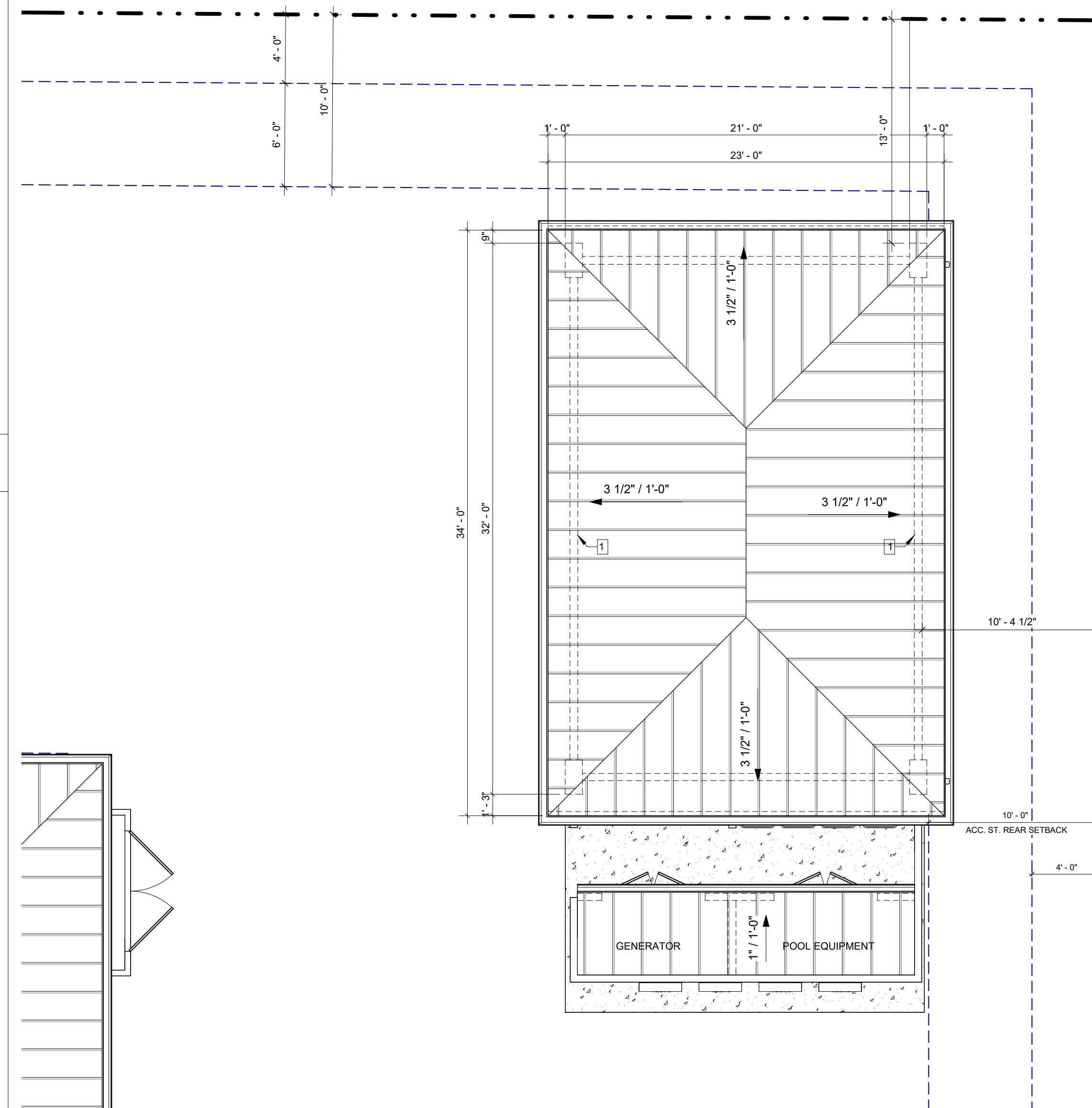
NOTE 1:
A. EXCEPT AS OTHERWISE PERMITTED UNDER THIS CHAPTER, NO PERSON SHALL CAUSE AND NO PROPERTY OWNER SHALL PERMIT ON SUCH OWNERS' PROPERTY, A NOISE CAUSED BY ANY PERSON, MACHINE, ANIMAL OR DEVICE, OR ANY COMBINATION THEREOF, IN EXCESS OF THE SOUND LEVEL LIMITS SET FORTH IN THIS SECTION TO BE FIDELITY HEARD BY ANY PROPERTY, PUBLIC OR PRIVATE, BEYOND THE PROPERTY LINE. ANY SOUND IN EXCESS OF THE SOUND LEVEL LIMITS SET FORTH IN THIS SECTION SHALL CONSTITUTE A NOISE DISTURBANCE. FOR PURPOSES OF DETERMINING THE SOUND LEVELS AND LEVEL MEASUREMENTS SHALL BE MADE AT ANY LOCATION ON THE RECEIVING PROPERTY. PROFESSIONAL CERTIFICATION OF MEETING THIS REQUIREMENT MAY BE REQUIRED PRIOR TO THE CONSTRUCTION OF ANY SOUND ATTENUATION MUNICIPAL CODE SECTION 8.16.030)

B. SOUND LEVEL LIMITS: 7 A.M. TO 10 P.M. 60 DB(A) 10 P.M. TO 7 A.M. 50 DB(A) (TOWN OF ATHERTON MUNICIPAL CODE SECTION 8.16.030)

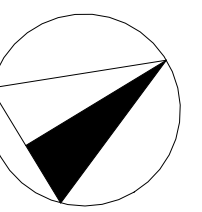
	BATHROOM FAN / LAUNDRY FAN TERMINATION CAP
	WHOLE HOUSE FAN VENT
	PLUMBING VENT
	FIREPLACE VENT CAP
	6" DRYER DUCT TO ROOF TERMINATION SHALL BE MINIMUM 36" TO BUILDING OPENING
	SCUPPER DOWNSPOUT LOCATIONS
	ROOF DRAIN / OVERFLOW
	IN WALL DOWNSPOUT
	RAINCHAIN
	DOWNSPOUT: TO BE TIED UP TO UNDERGROUND DRAINAGE

1 CARPORT FOOTPRINT

ALL ROOFS ARE CLASS 'A' FIRE-RATED



2 PROPOSED CARPORT ROOF PLAN - Dependent 1
3/16" = 1'-0"

BEKOM
design

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/ 408.726.0017

ISSUANCES

No.	Description	Date

Checked By:

Checker

PROPOSED
CARPORT
ROOF PLAN &
SECTIONS
Copy 1

Drawing Scale: $3/16" = 1'-0"$

Date: 2024/08/12

AC-2.0