

#	SHEET #	SHEET NAME
200	AC-0	COVER SHEET - CARPORT
201	AC-0.1	FLOOR AREA DIAGRAMS 1
202	AC-0.2	FLOOR AREA DIAGRAMS - CONDITIONED & UNCONDITIONED SPACE 1
203	AC-0.3	ARBORIST REPORT 1
204	AC-0.3.1	ARBORIST REPORT CONT. 1
205	AC-0.3.2	ARBORIST REPORT - CARPORT
206	AC-0.4	PROPOSED TPZ PLAN 1
207	AC-0.5	3D VIEWS / MATERIAL BOARD / PROPERTY FLOOD ZONE DATA 1
208	AC-1.0	PROPOSED PLOT PLAN - ENTRY GATE 1
209	AC-1.1	PROPOSED PLOT PLAN 1
210	AC-1.2	PROPOSED CARPORT FLOOR PLAN & ELEVATIONS 1
211	AC-2.0	PROPOSED CARPORT ROOF PLAN & SECTIONS Copy 1
212	CP-S1	CARPORT - FOUNDATION AND ROOF PLAN 1

#	SHEET #	SHEET NAME
C-1.0	CIVIL TITLE SHEET	
C-1.1	OVERALL SITE PLAN	
C-2.0	GRADING & DRAINAGE	
C-2.1	GRADING & DRAINAGE	
C-3.0	UTILITY PLAN	
C-3.1	UTILITY PLAN	
C-4.0	SITE SECTIONS	
C-5.0	DETAILS	
C-5.1	DETAILS	
C-5.2	DETAILS	
C-6.0	GRADING SPECIFICATIONS	
ER-1	EROSION CONTROL PLAN	
ER-2	EROSION CONTROL PLAN	
SW-1	BMPs	

#	SHEET #	SHEET NAME
2	PARCEL AND VICINITY MAPS	Copy 1 1/4" = 1'-0"

#	SHEET #	SHEET NAME
4	SHEET INDEX	Copy 1 1/4" = 1'-0"

#	SHEET #	SHEET NAME
7	PROPOSED SITE PLAN - 2	Copy 1 1/16" = 1'-0"

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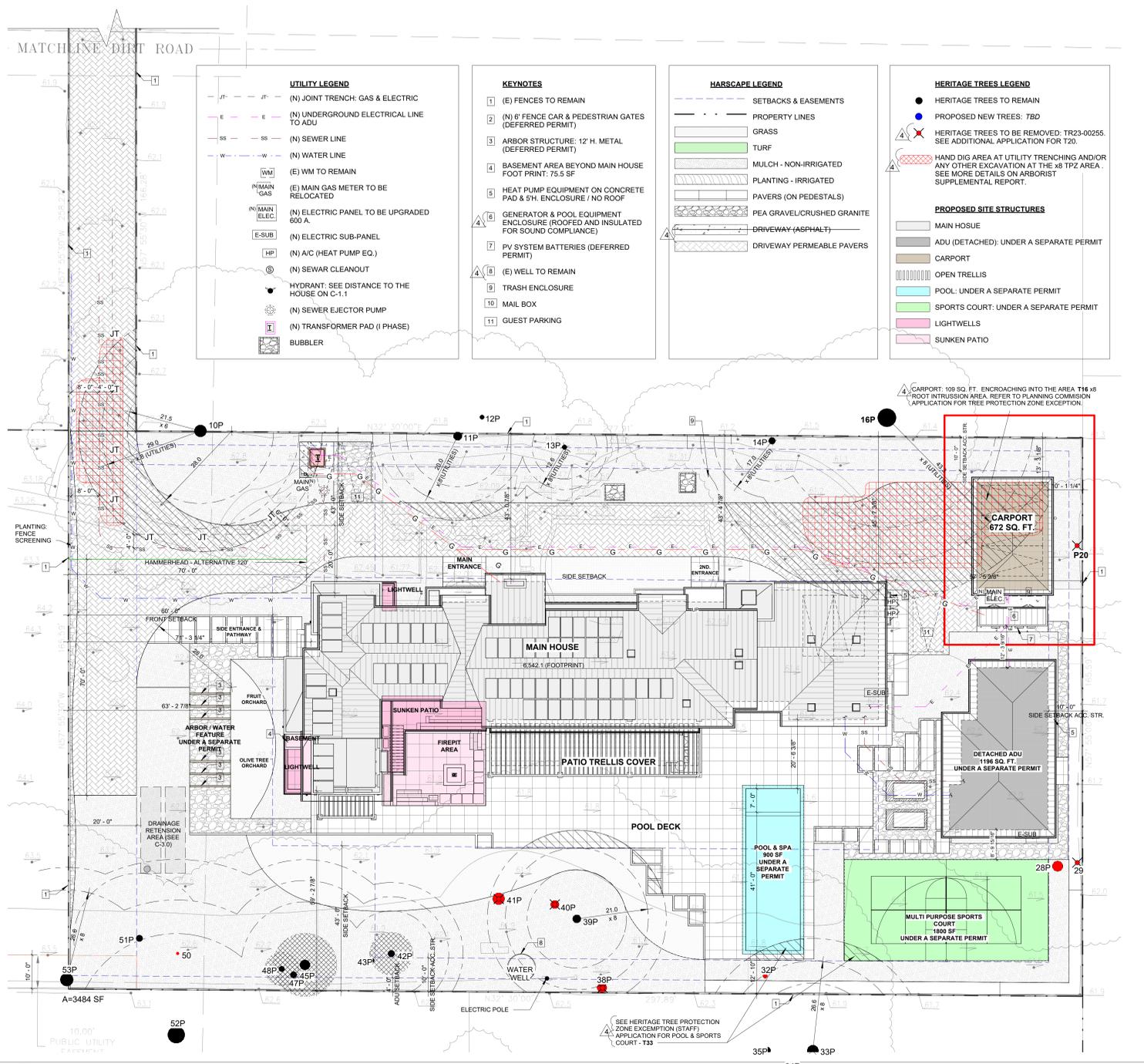
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3 EX - GENERAL FRONT VIEW Copy 1
1/4" = 1'-0"



7 PROPOSED SITE PLAN - 2 Copy 1
1/16" = 1'-0"

251 SELBY LN.
ATHERTON CA. 94027

OWNERS: SHILPI & RAKESH AGRAWAL



No.	Description	Date
4	BLDG PCC1	07/15/2024

Checked By: _____
Checker

COVER SHEET
- CARPORT

Drawing Scale: As indicated
Date: 2024/08/13

AC-0

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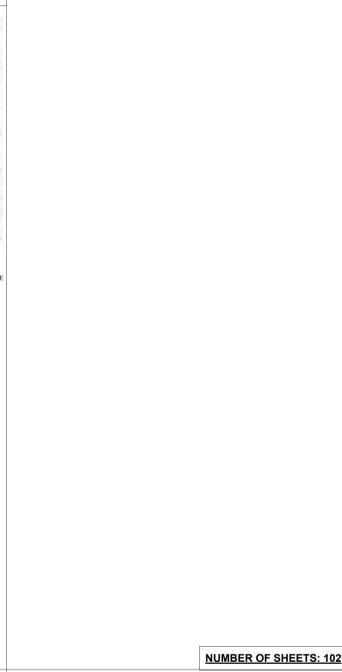
PROJECT INFORMATION, Copy 1
1/4" = 1'-0"



PARCEL AND VICINITY MAPS, Copy 1
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PROJECT DIRECTORY, Copy 1
1/4" = 1'-0"

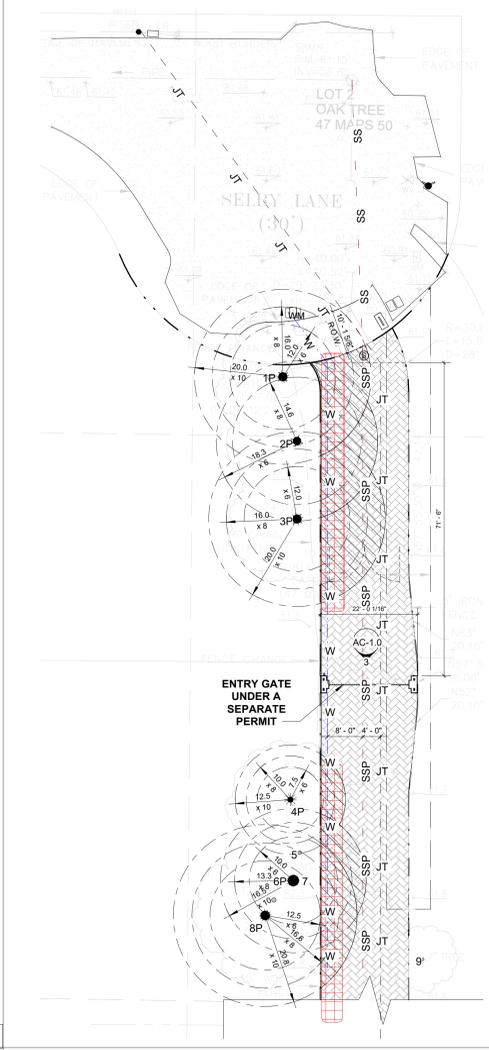
NOTE 1: DEFERRED SUBMITTALS. THE ENGINEER(S) RESPONSIBLE FOR THE DESIGN OF THE DEFERRED SUBMITTAL ITEMS SHALL STAMP AND SIGN THOSE DRAWINGS AND CALCULATIONS FOR WHICH HE/SHE IS RESPONSIBLE.

NOTE 2: WORK HOURS AND PARKING:
A. WORK HOURS: CONSTRUCTION, DELIVERIES, AND/OR SERVICING OF ANY ITEM ON SITE SHALL BE PROHIBITED BEFORE 6:00 AM AND AFTER 5:00 PM, WEEKDAYS, ALL DAY SATURDAY, SUNDAY AND HOLIDAYS.
B. CONSTRUCTION PARKING IS PERMITTED ONLY ON THE SITE AND ONLY ON THE SIDE OF THE STREET FRONTING THE PROPERTY FOR WHICH THE PERMIT IS ISSUED.

NOTE 3: THE SURVEYOR IS REQUIRED TO PROVIDE THE FOLLOWING:
1. LETTER VERIFYING THE STRUCTURE IS LOCATED AS APPROVED ON THE PLANS FOR SETBACKS PRIOR TO POURING ANY CONCRETE.
2. LETTER VERIFYING THE HEIGHT OF THE STRUCTURE IS AS SHOWN ON THE PLANS AT FRAME INSPECTION.

NOTE 4: A. EXCEPT AS OTHERWISE PERMITTED UNDER THIS CHAPTER, NO PERSON SHALL CAUSE AND NO PROPERTY OWNER SHALL PERMIT ON SUCH OWNERS' PROPERTY, A NOISE PRODUCED BY ANY PERSON, MACHINE, ANIMAL OR DEVICE, OR ANY COMBINATION THEREOF, IN EXCESS OF THE SOUND LEVEL LIMITS SET FORTH IN THIS SECTION TO EMANATE FROM ANY PROPERTY, PUBLIC OR PRIVATE, BEYOND THE PROPERTY LINE. ANY SOUND IN EXCESS OF THE SOUND LEVEL LIMITS SET FORTH IN THIS SECTION SHALL CONSTITUTE A NOISE DISTURBANCE. FOR PURPOSES OF DETERMINING SOUND LEVELS, SOUND LEVEL MEASUREMENTS SHALL BE MADE AT ANY LOCATION ON THE RECEIVING PROPERTY. PROFESSIONAL CERTIFICATION OF MEETING THIS REQUIREMENT MAY BE REQUIRED PRIOR TO FINAL INSPECTION.
B. SOUND LEVEL LIMITS: 7 A.M. TO 10 P.M. 60 DB(A) P.M. TO 7 A.M. 50 DB(A) PRIOR TO FINAL INSPECTION, CONTRACTOR TO VERIFY SOUND LIMITS AT PROPERTY LINE AND APPLY MEASURES IF NEEDED, IN ORDER TO MEET THE PER TOWN OF ATHERTON MUNICIPAL CODE.

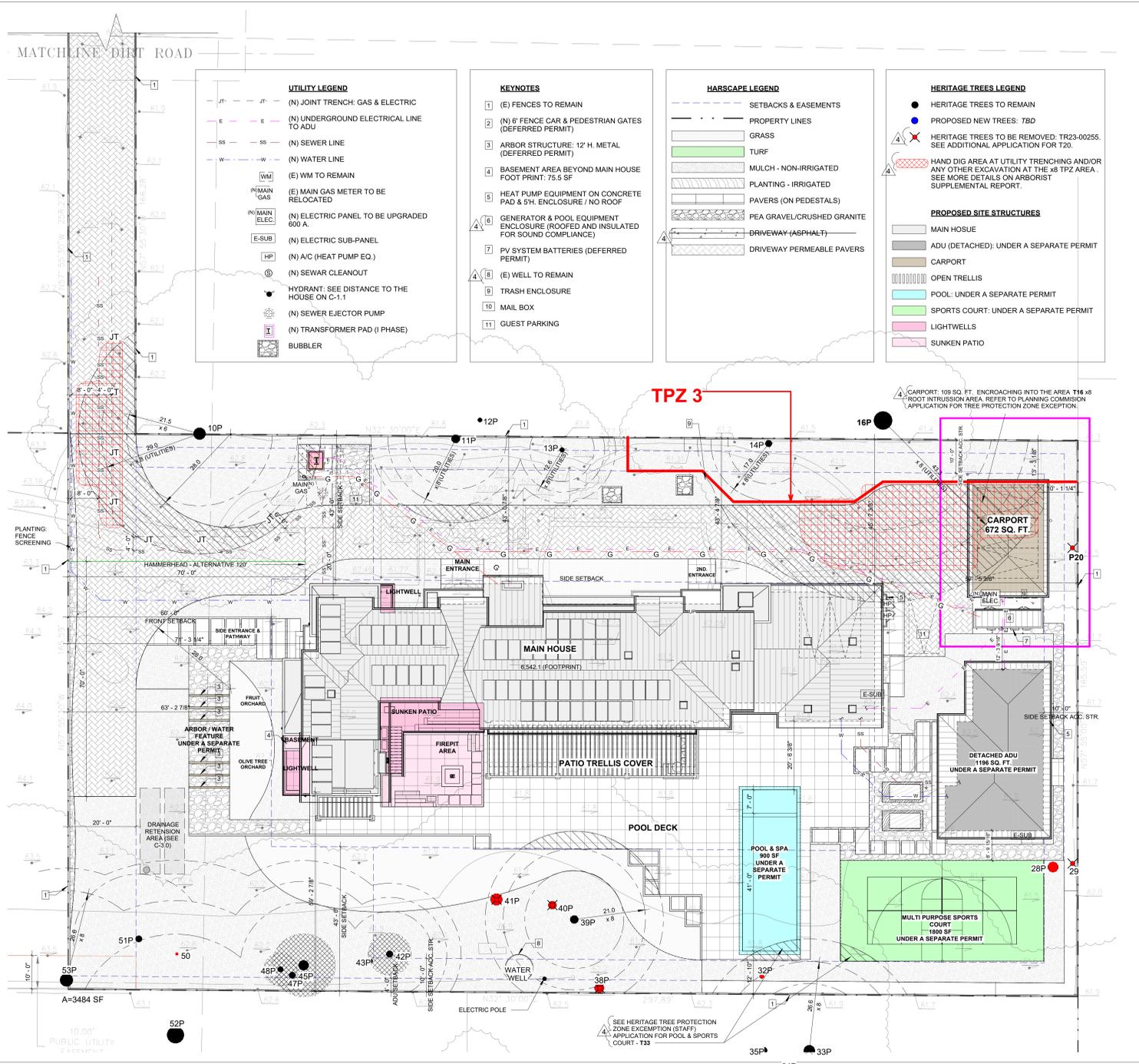
NOTE 5: SEE UTILITY TRENCH DETAILS ON C-5.2.



PROPOSED SITE PLAN - 2, Copy 1
1/16" = 1'-0"



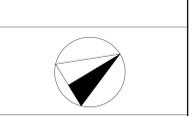
3D - EX - GENERAL FRONT VIEW, Copy 1
NOT TO SCALE



PROPOSED SITE PLAN - 1, Copy 1
1/16" = 1'-0"

**251 SELBY LN.,
ATHERTON CA, 94027**

OWNERS: SHILPI & RAKESH AGRAWAL



BEKOM design

WWW.BEKOMDESIGN.COM
E-MAIL: INFO@BEKOMDESIGN.COM
Tel: 408.203.4896 / 408.725.0017

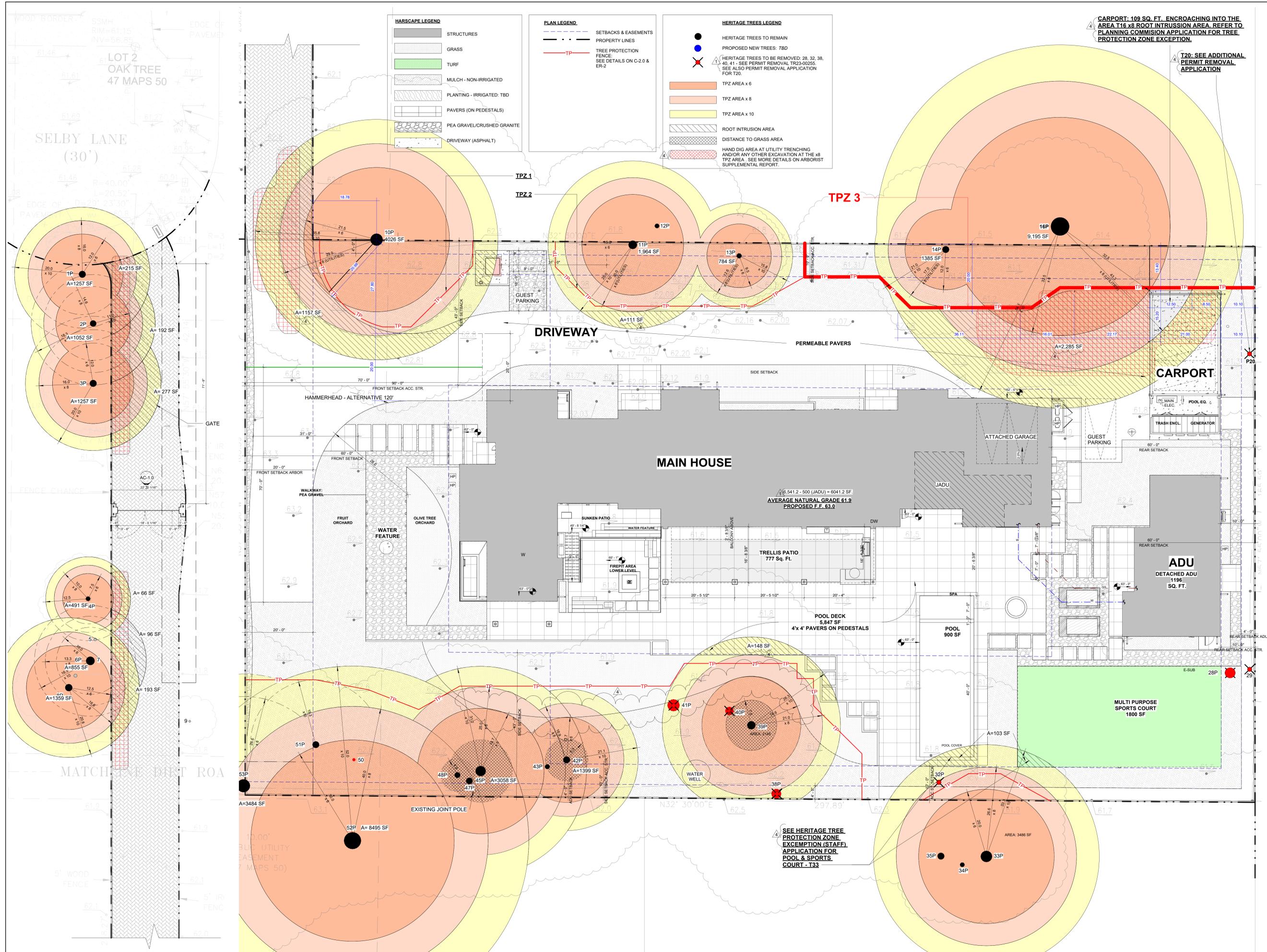
No.	Description	Date
4	BLDG PCC1	07/15/2024

Checked By: _____ Checker

COVER SHEET - CARPORT

Drawing Scale: As indicated
Date: 2024/08/27

AC-0



HARDSCAPE LEGEND

- STRUCTURES
- GRASS
- TURF
- MULCH - NON-IRRIGATED
- PLANTING - IRRIGATED: TBD
- PAVERS (ON PEDESTALS)
- PEA GRAVEL/CRUSHED GRANITE
- DRIVEWAY (ASPHALT)

PLAN LEGEND

- SETBACKS & EASEMENTS
- PROPERTY LINES
- TREE PROTECTION FENCE: SEE DETAILS ON C-2.0 & ER-2

HERITAGE TREES LEGEND

- HERITAGE TREES TO REMAIN
- PROPOSED NEW TREES: TBD
- HERITAGE TREES TO BE REMOVED: 28, 32, 38, 40, 41 - SEE PERMIT REMOVAL TR23-00255. SEE ALSO PERMIT REMOVAL APPLICATION FOR T20.
- TPZ AREA x 6
- TPZ AREA x 8
- TPZ AREA x 10
- ROOT INTRUSION AREA
- DISTANCE TO GRASS AREA
- HAND DIG AREA AT UTILITY TRENCHING AND/OR ANY OTHER EXCAVATION AT THE x8 TPZ AREA - SEE MORE DETAILS ON ARBORIST SUPPLEMENTAL REPORT.

CARPORT: 109 SQ. FT. ENCRoACHING INTO THE AREA T16 x8 ROOT INTRUSION AREA. REFER TO PLANNING COMMISSION APPLICATION FOR TREE PROTECTION ZONE EXCEPTION.

T20: SEE ADDITIONAL PERMIT REMOVAL APPLICATION

SEE HERITAGE TREE PROTECTION ZONE EXCEPTION (STAFF) APPLICATION FOR POOL & SPORTS COURT - T33

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BEKOM design

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 TEL: 408.203.4886
 /408.725.0017

ISSUANCES

No.	Description	Date
1	PLN PRE-APPLICATION	10/10/2023
2	PC1 REV 1	04/25/2024
3	GEOTECH RESP.	06/05/2024
4	BLDG SUBMITTAL	06/13/2024
5	BLDG PCC1	07/15/2024

Checked By: _____ Checker

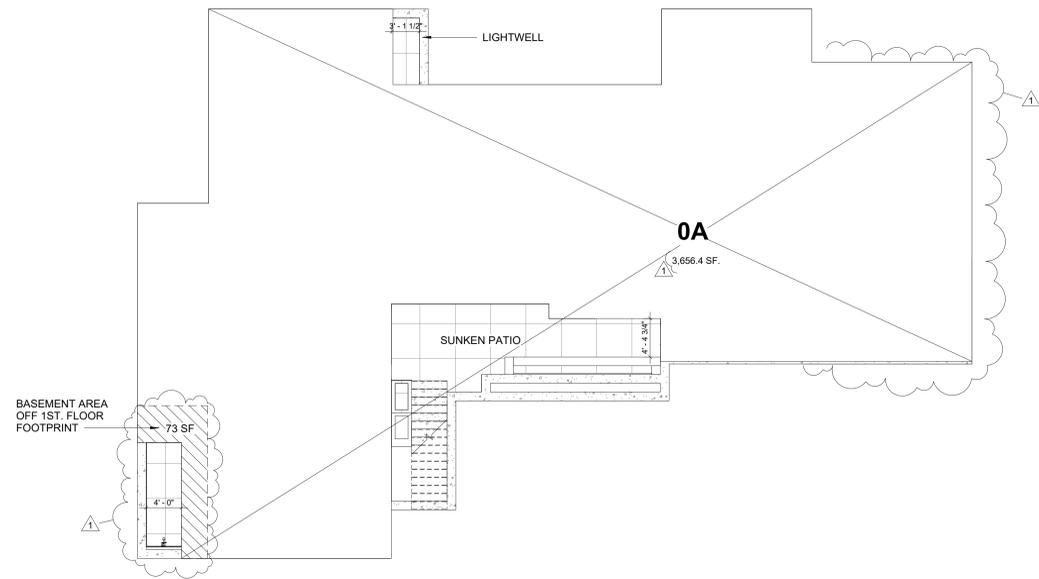
PROPOSED TPZ PLAN 1

Drawing Scale: 1" = 10'-0"
 Date: 2024/08/27

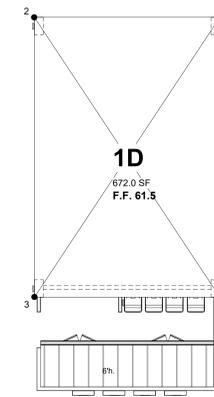
AC-0.4

2 PROPOSED TPZ PLAN N - ENTRY GATE - Dependent 1
 1" = 10'-0"

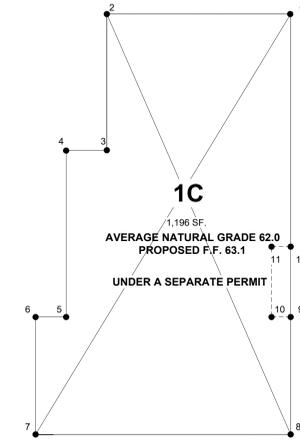
1 PROPOSED TPZ PLAN - Dependent 1
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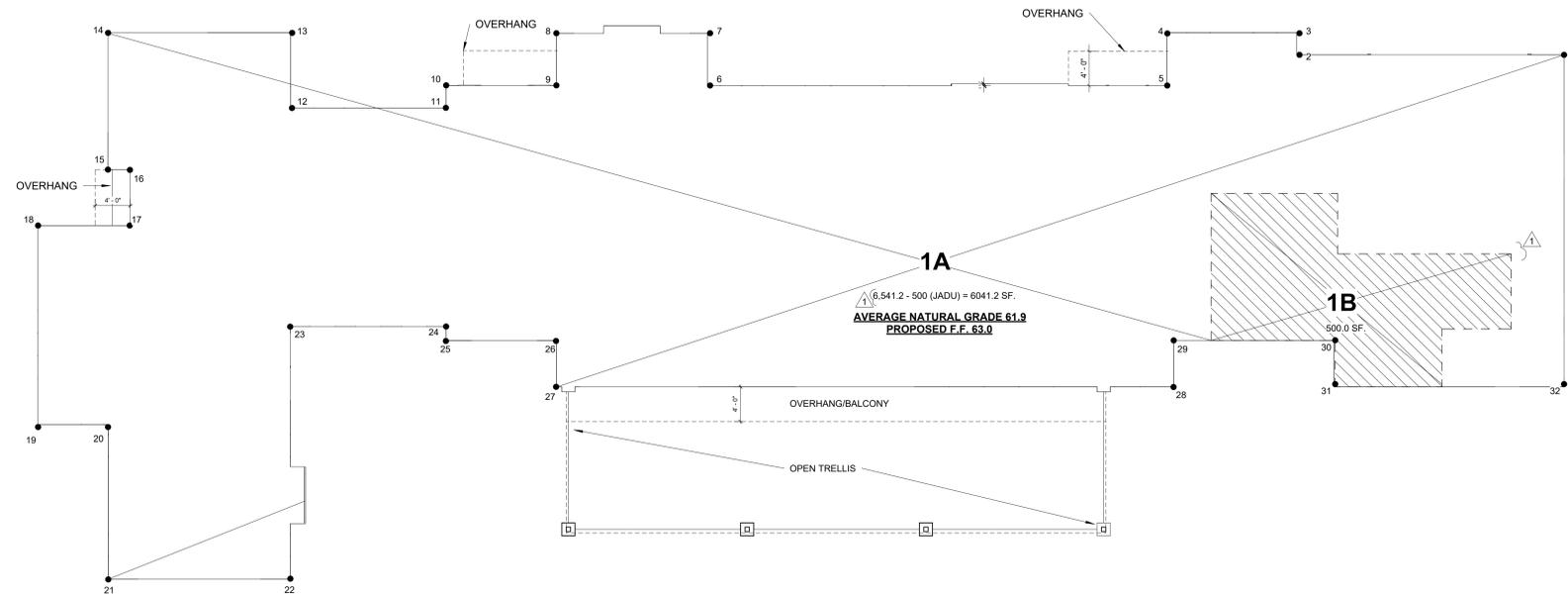
1 BASEMENT - FAR - Dependent 1
1/8" = 1'-0"



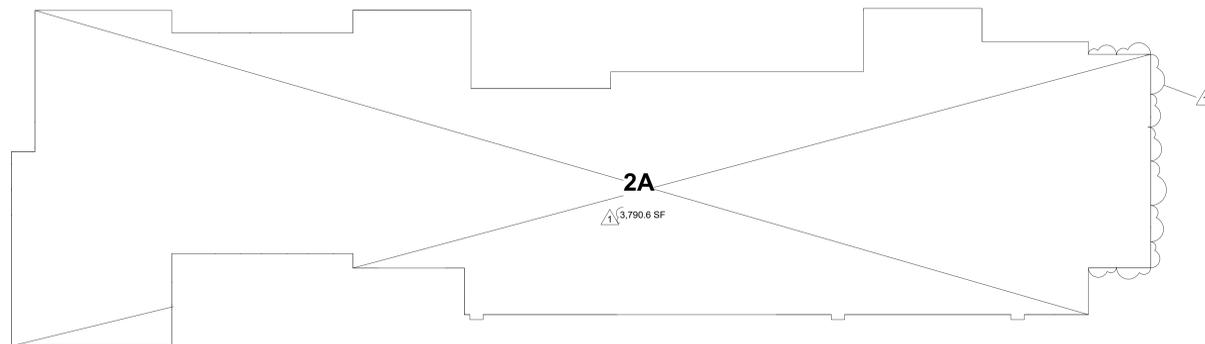
4 CARPORT - FAR - Dependent 1
1/8" = 1'-0"



5 DETACHED ADU - FAR - Dependent 1
1/8" = 1'-0"



2 1ST. FLOOR - FAR - Dependent 1
1/8" = 1'-0"



3 2ND. FLOOR - FAR - Dependent 1
1/8" = 1'-0"

SECTION		AREA
1ST. FLOOR		
1A	6042.1 SF	
1B	500.0 SF	
JADU CREDIT (UP TO 500 SF)		500.0 SF
TOTAL 1ST. FLOOR		6042.1 SF
2ND. FLOOR		
2A	3790.6 SF	
TOTAL 2ND. FLOOR		3790.6 SF
BASEMENT		
0A	3656.4 SF	
TOTAL (FAR EXEMPT)		3656.4 SF
TOTAL PROPOSED FAR		9832.7 SF
DETACHED ADU		
1C	1196.0 SF	
ADU CREDIT @10' FROM PROPERTY LINE UP TO 1200 SF		
ALLOWABLE COVERAGE		992.8 SF
MAX COVERED PATIOS IS 5 OF 9,856 SQ.FT.		
492.8 + 500 SQ. FT = 992.8 SQ. FT.		
CARPORT		
1D	672.0 SF	
TOTAL PROPOSED COVERAGE		672.0 SF

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4	BLDG SUBMITTAL	06/13/2024

Checked By: _____ Checker

FLOOR AREA
DIAGRAMS 1

Drawing Scale: 1/8" = 1'-0"

Date: 2024/08/12

AC-0.1

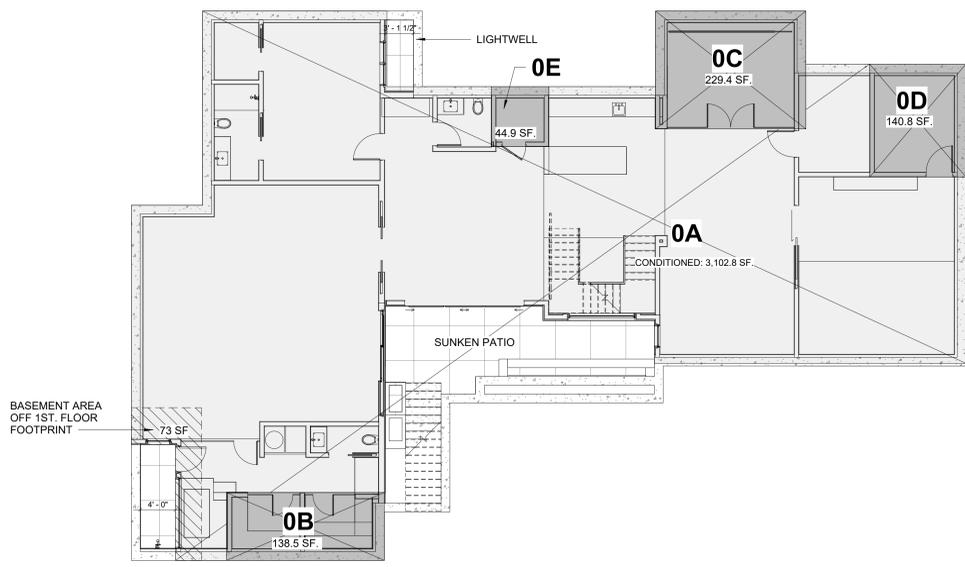
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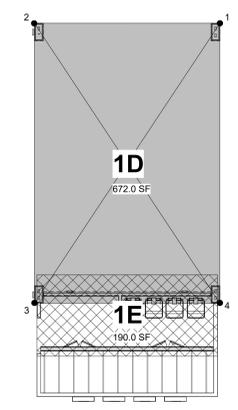
Checked By: _____ Checker: _____

**FLOOR AREA
DIAGRAMS -
CONDITIONED
&
UNCONDITIONED
SPACE 1**

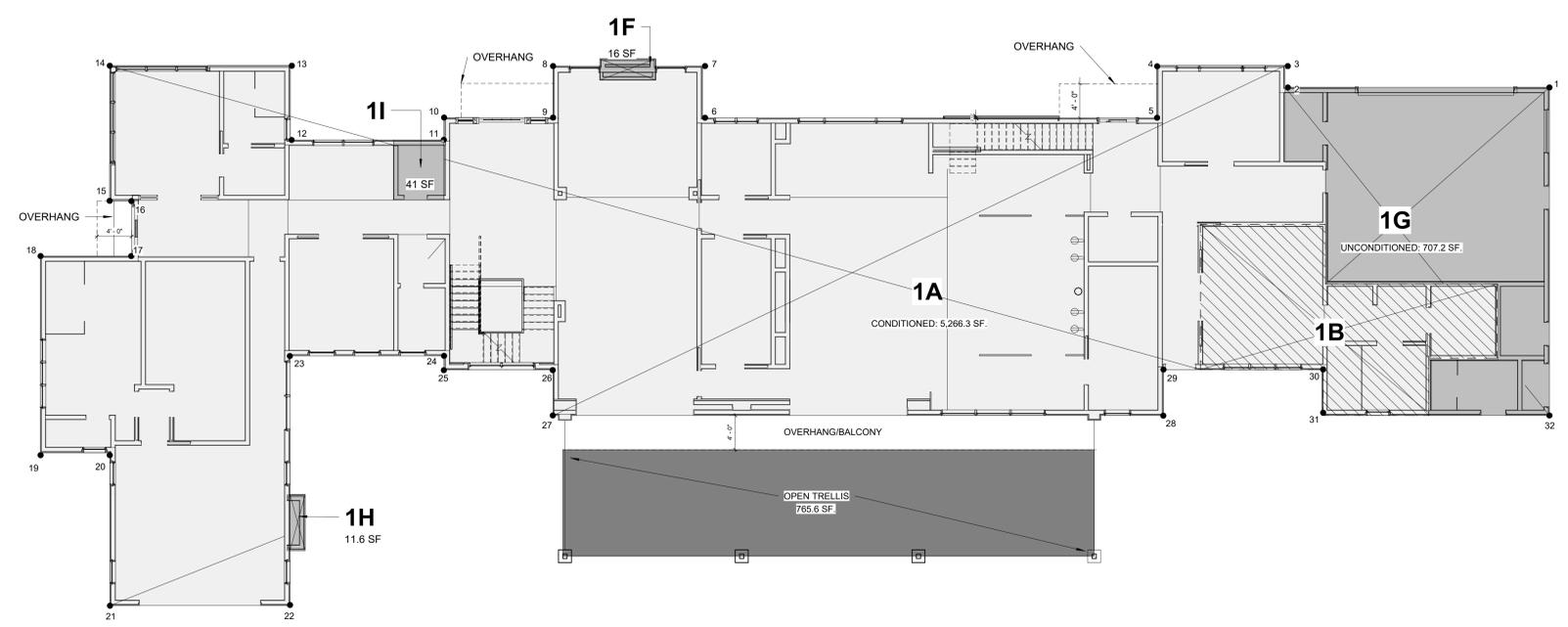
Drawing Scale: As indicated
Date: 2024/08/12



1 BASEMENT - FAR Copy 1 - Dependent 1
1/8" = 1'-0"



4 CARPORT - FAR Copy 1 - Dependent 1
1/8" = 1'-0"



2 1ST. FLOOR - FAR Copy 1 - Dependent 1
1/8" = 1'-0"

BUILDING AREA SQUARE FOOTAGE BREAKDOWN

SECTION	AREA
1ST. FLOOR	5266.3 SF
JADU	500.0 SF
TOTAL 1ST FLOOR CONDITIONED AREA	5766.3 SF
GARAGE, MECHANICAL, POOL STORAGE & ELEC. ROOM	707.2 SF
ELEVATOR	41.0 SF
FIREPLACE	11.6 SF
FIREPLACE	16 SF
TOTAL 1ST FLOOR UNCONDITIONED AREA	775.8 SF
2ND. FLOOR	3715 SF
TOTAL 2ND. FLOOR CONDITIONED AREA	3715 SF
STORAGE	34.6 SF
ELEVATOR	41.0 SF
TOTAL 2ND. FLOOR UNCONDITIONED AREA	75.6 SF
BASEMENT	3102.8 SF
TOTAL BASEMENT CONDITIONED AREA	3102.8 SF
S/PA	138.5 SF
WINE ROOM	229.4 SF
MECHANICAL	140.8 SF
ELEVATOR	44.9 SF
TOTAL BASEMENT FLOOR UNCONDITIONED AREA	553.6 SF
TOTAL CONDITIONED AREA	12584.1 SF
TOTAL UNCONDITIONED AREA	1405.0 SF
TOTAL BUILT AREA	13989.1 SF

UNDER A SEPARATE PERMIT

CONDITIONED AREA ADU	AREA
ADU	1154.9 SF
TOTAL BASEMENT CONDITIONED AREA	1154.9 SF
MECHANICAL	23.5 SF
ENCLOSE PORCH	17.6 SF
TOTAL 2ND. FLOOR UNCONDITIONED AREA	41.1 SF
TOTAL BUILT AREA ADU	1196.0 SF

UNCONDITIONED AREA - ACCESSORY STRUCTURES

CARPORT	1D	672.0 SF
OPEN ENCLOSURE	1E	190.0 SF



Square Footage Worksheet

Town of Atherton
Building Department
80 Fair Oaks Ln
Atherton, California 94027
Phone: (650) 752-0560
Inspection requests:
(650) 752-0542

This worksheet is usually not the same square footage that was calculated for the Planning Departments allowed lot coverage calculations.

The Building Department needs the **actual square footage being built** including all basements. Connected structures will be issued under one permit and each detached structure will require a separate permit.

PLEASE COMPLETE THE FOLLOWING:

Name of Structure: MAIN HOUSE

Conditioned space including basement as applicable (New): 12,584.1 S.F.
Conditioned space including basement as applicable (Remodel): 0.0 S.F.
Non-Conditioned space including basement as applicable (New or Remodel): 1,405.0 S.F.
Open trellis, decks and similar open structures (New or Remodel): 765.6 S.F.

Name of Structure: CARPORT

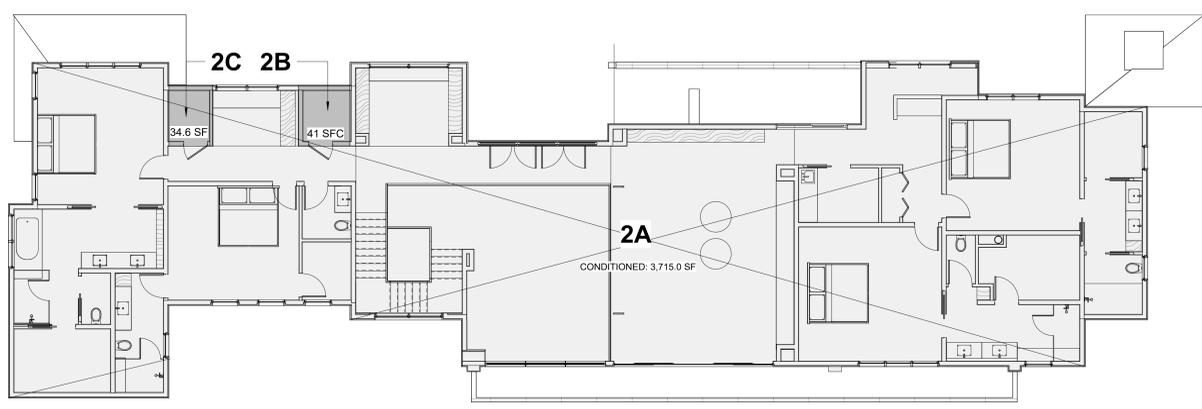
Conditioned space including basement as applicable (New): S.F.
Conditioned space including basement as applicable (Remodel): S.F.
Non-Conditioned space including basement as applicable (New or Remodel): 672.0 S.F.
Open trellis, decks and similar open structures (New or Remodel): 190.0 S.F.

Name of Structure: _____

Conditioned space including basement as applicable (New): S.F.
Conditioned space including basement as applicable (Remodel): S.F.
Non-Conditioned space including basement as applicable (New or Remodel): S.F.
Open trellis, decks and similar open structures (New or Remodel): S.F.

3 2ND. FLOOR - FAR Copy 1 - Dependent 1
1/8" = 1'-0"

6 SQUARE FOOTAGE CONDITIONED & UNCONDITIONED AREAS Copy 1
NOT TO SCALE



Kiely Arborists Services LLC

Certified Arborist WE#10724A
 P.O. Box 6187
 San Mateo, CA 94403
 650-532-4418

Revised October 4th, 2023

Bekom Design Inc.
 Attn: Susan Bowen

Site: 251 Selby Lane, Atherton CA

Dear Bekom Design Inc.

As requested on Wednesday, October 27th, 2021, and again on February 7th, 2023, Kiely Arborists Services visited the above site for the purpose of providing a Tree Inventory Report/Tree Protection Plan for the proposed construction. A new two-story home, basement, ADU, detached garage, pool, landscape, and sports court are proposed for this site, and your concern as to the future health and safety of the tree has prompted this visit. Site plans A-1.0 and A-1.1 dated 8/22/23 were reviewed for writing this report. This Tree Inventory Report is not a Tree Risk Assessment. As such, no trees were assessed for risk in accordance with industry standards, nor are there any tree risk ratings or risk mitigation recommendations provided within this preservation plan unless stated otherwise.

Method:

All inspections were made from the ground; the trees were not climbed for this inspection. The trees in question were located on an existing topography map provided by you. The trees were then measured for diameter at 48 inches above ground level (DBH or diameter at breast height). The trees were given a condition rating for form and vitality. The tree condition rating is based on 50 percent vitality and 50 percent form, using the following scale.

- 1 - 29 Very Poor
- 30 - 49 Poor
- 50 - 69 Fair
- 70 - 89 Good
- 90 - 100 Excellent

The height of the trees were measured using a Nikon Forestry 550 Hypsometer. The spread was noted. Comments and recommendations for future maintenance are provided.

Survey Key:

- *-Indicates neighbor's tree
- P-Indicates protected tree by city ordinance.
- R-Indicates proposed removal
- DBH-Diameter at breast height (48 inches above grade)
- CON- Condition rating
- HT/SP- Tree height/ canopy spread

251 Selby (6)

Tree#	Species	DBH	CON	HT/SP	Comments
14P	Coast Live Oak (<i>Quercus agrifolia</i>)	25.5	80	35/35	Good vigor, good form.
		10x diameter=21.2'			
		8x diameter=17.7'			
		6x diameter=12.7'			
		Appraised value= \$12,300			

16P Redwood (65est 80 100/30) Good vigor, good form.

10x diameter=54.1'
8x diameter=43.3'
6x diameter=32.5'
Appraised value= \$36,800



Showing trees #14 and #16

251 Selby (2)

Tree#	Species	DBH	CON	HT/SP	Comments
1*P	Redwood (<i>Sequoia sempervirens</i>)	24est	80	55/15	Good vigor, good form.
		10x diameter=20'			
		8x diameter=16'			
		6x diameter=12'			
		Appraised value= \$8,400			
2*P	Redwood (<i>Sequoia sempervirens</i>)	22est	80	55/15	Good vigor, good form.
		10x diameter=18.3'			
		8x diameter=14.6'			
		6x diameter=11'			
		Appraised value= \$7,100			
3*P	Redwood (<i>Sequoia sempervirens</i>)	24est	80	55/15	Good vigor, good form.
		10x diameter=20'			
		8x diameter=16'			
		6x diameter=12.5'			
		Appraised value= \$8,400			



Showing Redwood trees #1-3

4*P Redwood (15est 45 45/15) Poor vigor, fair form, in decline, abundance of dead wood.

10x diameter=12.5'
8x diameter=10'
6x diameter=7.5'
Appraised value= \$1,880

251 Selby (7)

Tree#	Species	DBH	CON	HT/SP	Comments
20P	Coast Live Oak (<i>Quercus agrifolia</i>)	17.3	50	40/40	Good vigor, fair to poor form, grows at lean, suppressed, recommended to prune if retained.
		10x diameter=14.4'			
		8x diameter=11.5'			
		6x diameter=8.6'			
		Appraised value= \$3,640			



26P/R Coast Live Oak (23.6 40 45/40) Fair to poor vigor, poor form, leans at 45 degrees, bleeding cankers at 20'. FAILED TREE

28P/R Cottonwood (35.4 40 65/25) Poor vigor, fair form, history of limb loss, decay on trunk.

29R Coast Live Oak (14.6 45 30/25) Fair vigor, poor form, covered in ivy, suppressed, topped.

251 Selby (3)

Tree#	Species	DBH	CON	HT/SP	Comments
5*	Redwood (<i>Sequoia sempervirens</i>)	10est	45	45/15	Poor vigor, fair form, in decline, abundance of dead wood.
6*P	Coast Live Oak (<i>Quercus agrifolia</i>)	20est	80	55/15	Good vigor, good form.
		10x diameter=35.8'			
		8x diameter=28.6'			
		6x diameter=21.5'			
		Appraised value= \$5,800			
7*	Redwood (<i>Sequoia sempervirens</i>)	12est	50	45/15	Fair vigor, fair form, suppressed.
8*P	Redwood (<i>Sequoia sempervirens</i>)	25est	80	55/15	Good vigor, good form.
		10x diameter=20.8'			
		8x diameter=16.6'			
		6x diameter=12.5'			
		Appraised value= \$9,100			



Showing Redwood trees #4-8

251 Selby (8)

Tree#	Species	DBH	CON	HT/SP	Comments
30	Coast Live Oak (<i>Quercus agrifolia</i>)	10.3	50	30/15	Fair vigor, fair form, suppressed.
32P/R	Coast Live Oak (<i>Quercus agrifolia</i>)	16.6	45	30/40	Fair vigor, poor form, suppressed, leans at 45 degrees.

33*P Redwood (40est 65 100/25) Fair vigor, fair form, drought stressed.

10x diameter=33.3'
8x diameter=26.6'
6x diameter=20'
Appraised value= \$17,200

34*P Redwood (16est 65 60/25) Fair vigor, fair form, drought stressed.

10x diameter=13.3'
8x diameter=10.6'
6x diameter=8'
Appraised value= \$3,070

35*P Redwood (24est 65 100/25) Fair vigor, fair form, drought stressed.

10x diameter=20'
8x diameter=16'
6x diameter=12'
Appraised value= \$6,800



Showing neighboring Redwood trees #33-35

251 Selby (4)

Tree#	Species	DBH	CON	HT/SP	Comments
9*	Apple (<i>Malus sp.</i>)	7est	65	10/10	Fair vigor, fair form.
10*P	Coast Live Oak (<i>Quercus agrifolia</i>)	43.0	65	45/65	Good vigor, fair form, heavy limbs, ivy on trunk, Recommended to prune and prop. ON PROPERTY LINE, SHARED TREE.
		10x diameter=35.8'			
		8x diameter=28.6'			
		6x diameter=21.5'			
		Appraised value= \$20,400			



Showing Oak tree #10

11P Coast Live Oak (30.0 80 45/35) Good vigor, good form, suppressed, heavy into property.

10x diameter=25'
8x diameter=20'
6x diameter=15'
Appraised value= \$16,300

12*P Evergreen Ash (16est 65 45/25) Good vigor, fair form, limited visual inspection.

10x diameter=13.3'
8x diameter=10.6'
6x diameter=8'
Appraised value= \$1,020

251 Selby (9)

Tree#	Species	DBH	CON	HT/SP	Comments
38P/R	Coast Live Oak (<i>Quercus agrifolia</i>)	35.5	45	45/40	Fair vigor, poor form, abundance of dead wood, dead limbs, included bark, hollow cavity in trunk.
39P/R	Coast Live Oak (<i>Quercus agrifolia</i>)	31.6	60	60/45	Fair vigor, fair form, minor dead wood, lions tailed.

40P/R Coast Live Oak (29.3 50 45/35) Good vigor, fair form, leans into property.

10x diameter=26.3'
8x diameter=21'
6x diameter=15.8'
Appraised value= \$11,700

41P/R Coast Live Oak (43.3 65 50/40) Good vigor, fair form, codominant at 8' with fair unions.

10x diameter=36'
8x diameter=28.8'
6x diameter=21.6'
Appraised value= \$20,400



Showing Oak trees #39-41

251 Selby (5)

Tree#	Species	DBH	CON	HT/SP	Comments
13P	Redwood (<i>Sequoia sempervirens</i>)	19.0	80	45/20	Good vigor, good form.
		10x diameter=15.8'			
		8x diameter=12.6'			
		6x diameter=9.5'			
		Appraised value= \$5,300			



Showing trees #11-13

251 Selby (10)

Tree#	Species	DBH	CON	HT/SP	Comments
42P	Coast Live Oak (<i>Quercus agrifolia</i>)	25.4	65	45/40	Good vigor, fair form, suppressed, in grove.
		10x diameter=21.1'			
		8x diameter=16.9'			
		6x diameter=12.7'			
		Appraised value= \$9,200			
43P/R	Coast Live Oak (<i>Quercus agrifolia</i>)	16-16.8	45	30/45	Fair vigor, poor form, suppressed, heavy lean, codominant at grade.

45P Coast Live Oak (37.5 70 60/45) Good vigor, fair form, codominant at 20 feet.

10x diameter=31.2'
8x diameter=25'
6x diameter=18.7'
Appraised value= \$21,400

47P Coast Live Oak (20.7 60 55/35) Fair vigor, fair form, suppressed, grows towards neighbor's property.

10x diameter=17.2'
8x diameter=13.8'
6x diameter=10.3'
Appraised value= \$6,000

48P Coast Live Oak (19.6 60 30/25) Fair vigor, fair form, grows at lean into property, suppressed.

10x diameter=16.3'
8x diameter=12'
6x diameter=9.8'
Appraised value= \$5,500



Showing grove of trees #42-48

251 Selby (11)

Tree#	Species	DBH	CON	HT/SP	Comments
50	Redwood (<i>Sequoia sempervirens</i>)	10.6	70	40/15	Fair vigor, fair form, suppressed.

51P Redwood (23.2 80 55/20) Good vigor, good form.

10x diameter=19.3'
8x diameter=15.4'
6x diameter=11.6'
Appraised value= \$7,700

52*P Redwood (60est 50 75/25) Fair vigor, poor form, codominant.

10x diameter=50'
8x diameter=40'
6x diameter=30'
Appraised value= \$21,400

53P Coast Live Oak (40.0 70 40/40) Good vigor, good form.

10x diameter=33.3'
8x diameter=26.6'
6x diameter=20'
Appraised value= \$23,100



Showing trees #51-53

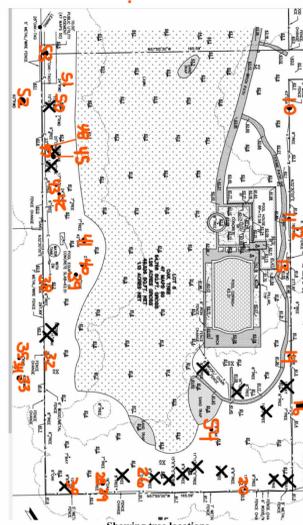
251 Selby (12)

Tree#	Species	DBH	CON	HT/SP	Comments
54P/R	Coast Live Oak (<i>Quercus agrifolia</i>)	25.4	60	45/40	Good vigor, fair form. FAILED TREE



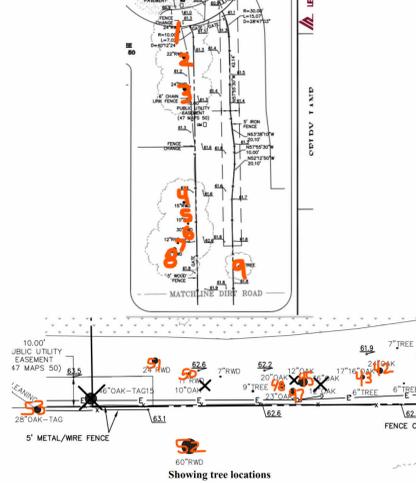
Showing tree #54

251 Selby (13)



Showing tree locations

251 Selby (14)



Showing tree locations

251 Selby Summary of site visit and Heritage trees (15)
 Summary of site visit and Heritage trees:
 The existing landscape at 251 Selby is in fair condition. The property was recently subdivided. The majority of the trees are on the perimeter of the property and is ideal for construction to take place while protecting the trees. Most of the trees have grown in a grove-like fashion. Many of the trees have developed heavy leans as a result. The trees on site were in need of maintenance pruning (crown reduction) to reduce risk of failures. All of the trees on site have been pruned using approved crown reduction pruning techniques to reduce risk of limb failures as a result of growing in suppressed growing conditions.

Trees #1-6, 8, 10-14, 16, 20, 26, 28, 32-35, 38-43, 45, 47, 48, and 51-54 are protected in the town of Atherton. Trees with a condition rating lower than 50 are considered poor trees and should be removed or mitigated. Future landscaping near the retained oak trees must maintain a dry area out to the tree driplines. It is important to understand that the native oak trees survive off of annual rainfall as they are native to the area. The only time oak trees are recommended to be irrigated is during the months of May and September during prolonged drought periods or if their root zones are to be traumatized.

Failed trees:
 Coast live oak tree #26 and coast live oak tree #54 have failed in the previous winter storms of 2022/2023. The trees have since been removed from the site. Both trees were in poor condition. Below are photos showing the failed trees.



Showing failed trees #26 and #54

251 SELBY LN.
ATHERTON CA. 94027
 OWNERS: SHILPI & RAKESH AGRAWAL



BEKOM
 design

WWW.BEKOMDESIGN.COM
 E-MAIL:
 INFO@BEKOMDESIGN.COM
 Tel: 408.203.4886
 / 408.726.0017

ISSUANCES

No.	Description	Date
1	PLN PRE-APPLICATION	10/10/2023
2	PC1 REV 1	04/22/2024
3	GEOTECH RESP.	06/05/2024
4	BLDG SUBMITTAL	06/13/2024

Checked By: _____ Checker

ARBORIST
REPORT 1

Drawing Scale: 1 1/2" = 1'-0"

Date: 2024/08/12

AC-0.3

251 Selby (16)

Protected trees proposed for removal



Cottonwood tree #28 is in poor condition. 50% of the tree's canopy is dead. A history of limb loss was observed within the tree's canopy. A large area of decay was visible on the tree's trunk. This tree is expected to continue to decline and shed its limbs. Tree removal is recommended as the tree is a hazard to the property.

Showing Cottonwood #28



Coast Live Oak tree #32 is in poor condition. The tree heavily leans due to growing in suppressed conditions and is nearly growing horizontally. The tree is not expected to correct its lean. Tree removal is recommended as the tree is a hazard to the property. Tree failure is at high risk and no mitigation measures are expected to improve the risk of failure.

Showing Coast Live Oak tree #32

251 Selby (17)

Coast Live Oak tree #38 was given a poor condition rating due to multiple dead limbs observed, a hollow cavity in the trunk, and included bark within multiple codominant unions. The tree is codominant at 4' with a tight union (included bark). The dead limbs are estimated at 6 and 8 inches in diameter and should be removed as soon as possible. A large hollow cavity on the tree's trunk was observed from grade to 3' on the back side of the trunk (closer to the property line). Due to the multiple problems with the tree's structure, it is recommended to remove the tree as it is at high risk of failure.



Showing Oak #38



Showing included bark Showing decay on trunk (backside)

251 Selby (18)

Coast Live Oak trees #39-41 are in fair condition. The trees make up a grove of 3 large Oak trees. Oak trees #39 and #41 suppress oak tree #40. Oak tree #40 grows a lean into the property. Risk of limb failure/tree failure is moderate due to the tree's lean. The other 2 large oak trees #39 and #41 have an upright form and are at a lower risk of failure. It is recommended to remove oak tree #40. Oak tree #40 is hazardous as a new home is to be built on site and the tree will be leaning towards the home and landscaping area. The removal of this tree will change wind loads for trees #41 and #39. Due to the increase in wind loads for trees #39 and #41 risk of failure is increased. All 3 trees are recommended to be removed as they are hazardous to the site.



Showing trees #39-41 Showing tree #40 growing at lean into property

251 Selby (19)



Coast Live Oak tree #43 is in poor condition due to growing in heavy suppressed conditions. The tree is codominant at grade with both codominant leaders leaning heavily away from each other at a 45 degree angle. Trunk failure is at high risk due to the poor form of the tree. The tree is recommended for removal due to the hazardous nature of the tree. The tree is growing into the future buildable area.

Showing tree #43 and heavy lean into site

Distances to proposed construction: The text below are multiple rules from the ordinance that are recommended to be followed where possible.

- 1. R1-A Zoning District for lots of more than 10,000 square feet: a. The TPZ is 10x away from all buildings and structures. b. The TPZ is 8x away from any new driveway. 2. R1-B Zoning District and lots in the R1-A Zoning District that are 10,000 square feet or less: a. The TPZ is 6x away from all buildings, structures, and new driveways. 3. For all lots: a. The TPZ is 6x away from all CMU walls and 5x away from all wood or metal fences that require a permit. b. The TPZ is 3x from all landscaping, Landscape Screening trees and bushes. c. For replacement of existing driveways and/or new, proposed compacted surfaces, allow for replacement in the existing location, but in no cases less than 3 times (3x).

Town Arborist Exceptions: A Town Arborist exception from the TPZ standards noted in Section 2.2 (A) can be considered under any of the following scenarios: - A TPZ exception in the R1-A from 10x the diameter, down to a minimum of 8x the diameter, for all development types unless otherwise specified. - A TPZ exception in the R1-A from 6x the diameter, down to a minimum of 3x the diameter, for lots in the R1-B, or lots in the R1-A 10,000 square foot or less. - A TPZ exception for all walls or fences from 6x the diameter, down to 3x the diameter

An application and fee are required to be completed prior to a Town Arborist TPZ exception review. Submitting and paying for the application does not guarantee approval to reduce the

251 Selby (20)

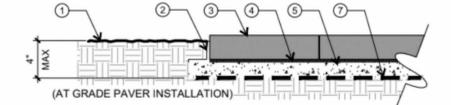
TPZ. If the Town Arborist denies an application submitted for a Town Arborist exception to the TPZ, the application can be appealed to the Planning Commission in accordance with the Atherton Municipal Code.

Proposed Town Arborist Exception: Driveway Trees #1-4, 6, 8, 10, 11, and 16 will need a Town Arborist Exception as the proposed driveway is shown closer than 8x the diameter of the trees. Trees #1-4, 6, 8 and 8 are neighboring Redwood trees along the entrance to the property. The Redwood trees are in good condition except for Redwood tree #4 which is in poor condition. This is the only feasible place a driveway entrance can be built for the property. The existing entrance into the property is a landscaped area where roots from the trees in question are likely to be found. The proposed driveway will also need to pass over the root zone of Coast Live Oak trees #10, 11, and neighboring Redwood tree #16. Redwood trees and Coast Live Oak trees have a good tolerance to construction impacts as seen in the Matheny and Clark Relative Tolerance of Selected Species to Development Impacts. The driveway design will be required to be root-friendly and be one with minimal disturbance into grade to reduce the need to cut roots as much as possible when closer than 8x the tree diameters. The driveway is recommended to be constructed using Biaxial Geogrid (Tensar BX-1100 or equivalent) is then recommended to be placed on the soil with only hand-tamped compaction preparation used. The geogrid material is to be used as a subgrade layer below aggregate (rock/gravel) and will need to be pinned down to the soil. It is a stiff synthetic permeable material consisting of sets of tensile ribs pre-tensioned in two directions to allow the pinning down of surrounding soil, stone, or other material. Geogrid is often used over soft soils or tree root zones and improves filtration, reduces base thickness needed, compaction of underlying parent soil (85%) and incidents of tire ruts and soil migration. By using Tensar BX-1100 Biaxial Geogrid compaction can be minimized to relieve the roots from strain caused by passing cars. With Tensar BX-1100 geogrid, compaction can be limited to 85%, and is more than adequate for future root growth. Any edging needed is recommended to be supported above ground by individual stakes. This way the driveway can be constructed as close to top of grade as possible while retaining as many roots as possible. Impacts to the trees would be minor if constructed in this manner. One month before construction is to start the neighboring Redwood trees along the driveway entrance are recommended to be irrigated from the proposed driveway side of the property using 300 gallons of clean water as mitigation for the minor impacts. The remaining trees all have large, landscaped areas between the trees and the driveway where minor supplemental irrigation can be prescribed as a mitigation measure for the expected minor impacts. Oak trees #10 and #11 are recommended to be irrigated at the proposed driveway edge every other week for one year using 40 gallons of water at a time per tree. This will act as mitigation for the minor impacts. After one year irrigation near the oaks is recommended to be suspended. Redwood tree #16 is recommended to be irrigated every other week during the dry season with 40 gallons of clean water within the landscaped area. This type of irrigation is recommended to continue throughout the lifespan of the Redwood tree.

251 Selby (21)

Table with 3 columns: Tree #, DBH, Distance to work, Percentage of root zone. Rows include trees #1 through #16 with their respective measurements.

By constructing the driveway using Biaxial geogrid as described, the percentage of root impacts is expected to be much lower as the majority of tree roots can be retained within proposed driveway.



LEGEND

- 1 ADJACENT FINISH GRADE
2 PAVER EDGING - NAIL PER MANUFACTURER'S SPECIFICATIONS
3 PRECAST CONCRETE PAVERS - SEE FINISH SCHEDULE
4 1" SAND LEVELING BED
5 CLASS II AGGREGATE BASE - SECTION PER SOILS ENGINEER
6 BIAxIAL GEOGRID
7 Showing example of geogrid driveway installation as used on past projects

251 Selby (22)

Carport (UNDER SEPARATE PERMIT)

The proposed carport near neighboring redwood tree #16 is located at 6x the diameter of the tree. The entire proposed foundation within 10x the diameter of the tree is recommended/required to be excavated by hand in combination with hand tools such as an air knife, rotary hammer with clay spade attachment, or shovels, while under the direct supervision of the Project Arborist. All roots encountered within the foundation area measuring 1.5" in diameter or larger are recommended to be retained for the Project Arborist to inspect before being cleanly cut. Once inspected and documented, the roots will need to be cleanly cut using a hand saw or loppers. Cut root ends on the tree side are recommended to be painted with a tree pruning sealer/grafting compound then covered by 3 layers of wetted-down burlap to help avoid root desiccation. The contractor shall wet down the burlap daily while exposed. The area between the tree and the foundation (tree protection zone) is recommended to be irrigated every other week during the dry season until the top foot of the soil is saturated. This will act as a mitigation measure for the minor impacts. The Redwood trees have a good tolerance to construction impacts as seen in the Matheny and Clark Relative Tolerance of Selected Species to Development Impacts. The combined percentage of root zone impacts including the driveway work is 26.5%. The tree is recommended to be deep water fertilized using Nutriroot as a mitigation measure once roots have been cut. Irrigation between the tree and the driveway/carport is recommended. Every other week during the dry season, 50 gallons of water should be given to the tree. Impacts are expected to be minor.

Pool hardscape/Sports court (UNDER SEPARATE PERMIT)

The pool hardscape near neighboring Redwood tree #33 is shown at 8.2x the tree's diameter. The proposed sports court is shown at 8.2x the tree's diameter. The Redwood tree is in fair condition with minor drought stress symptoms observed. Redwood trees have a good tolerance to construction impacts as seen in the Matheny and Clark Relative Tolerance of Selected Species to Development Impacts. It is required to hand excavate when working within 10x the diameter of the tree (33.3'). All excavation within 10x the tree's diameter will be required to take place under the Project Arborist's supervision. Cut roots including root sizes and quantity of roots will need to be documented in the required monthly inspection for the site. All roots are recommended to be cleanly cut under the supervision of the Project Arborist. A layer of wetted-down burlap is recommended to be placed over the roots on the tree side of the excavation where roots have been cleanly cut. Burlap moisture is to be maintained by the contractor daily. This will help to avoid root desiccation. The area between the pool hardscape, sports court, and property line fence is recommended to be irrigated every other week during the dry season using 40 gallons of clean water as a mitigation measure. This type of irrigation is recommended to continue throughout the lifespan of the Redwood tree. Impacts are expected to be minor.

251 Selby (23)

Tree # DBH Distance to work Percentage of root zone

Table with 4 columns: Tree #, DBH, Distance to work, Percentage of root zone. Rows include trees #33 and #34 with their respective measurements.

Table with 4 columns: TREE #, TPZ AREA, INT. AREA, %. Rows include trees 1 through 39 with their respective area and percentage values.

Showing the percentage of root zone impacts

Hardscape near oak tree #39

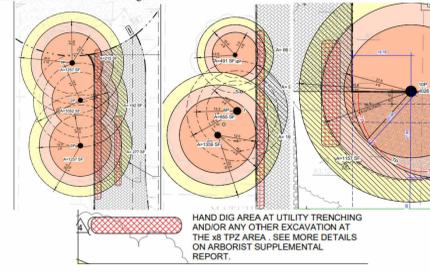
Proposed hardscapes are shown at 8x the diameter of oak tree #39. All excavation for hardscapes when within 10x the diameter of the tree is required to be done by hand under the direct supervision of the Project Arborist. All roots encountered within the foundation area measuring 1.5" in diameter or larger are recommended to be retained for the Project Arborist to inspect before being cleanly cut. Once inspected and documented, the roots will need to be cleanly cut using a hand saw or loppers. Cut root ends on the tree side are recommended to be covered by 3 layers of wetted-down burlap to help avoid root desiccation. The contractor shall wet down the burlap daily while exposed. The area between the tree and the hardscape (tree protection zone) is recommended to be irrigated every other week during the dry season until the top foot of the soil is saturated. This will act as a mitigation measure for the minor impacts. This work will be required to be documented by the town of Atherton with a letter sent to the town arborist. The percentage of root zone impacts for the tree is 6.9%.

Utilities

The proposed water line is shown as closer than 8x diameter near neighboring redwood trees #1-8. The sewer line is shown closer than 8x the diameter of neighboring redwood tree #3. A joint trench line is shown closer than 8x diameter of oak tree #10. These are the only utility lines that encroach closer to the minimal 8x diameter recommendation. The utility lines all run down the driveway and there is no way to move lines away from trees as this is the only entrance into the property. The rest of the utility line work has been moved to a minimum of 8x the diameter of the trees as previously recommended. The utility lines are recommended to be excavated by

251 Selby (24)

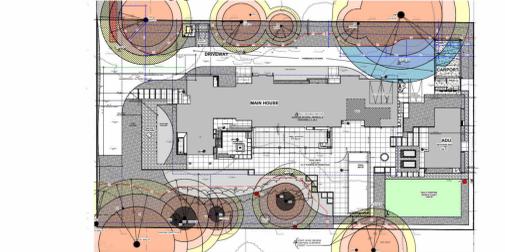
hand in combination with an air knife and other hand tools such as a rotary hammer with a clay spade attachment and shovels. This work shall be done under the direct supervision of the project arborist when working within 10x the diameter of the trees. All encountered roots are required to be left exposed and as damage-free as possible while getting to the required depth of the trench. Roots to be left exposed are recommended to be covered/wrapped in layers of wetted-down burlap. The contractor is required to soak down the burlap daily with water to help avoid root desiccation. The utility lines are then recommended to be tunneled underneath or beside roots where possible to avoid the need to cut tree roots. Any root that needs to be cut measuring 1.5" in diameter or larger shall first be shown to the project arborist before being cleanly cut with loppers or a hand saw. All roots to be cut are required to be documented by the project arborist. Only roots in the direct line of the trench that cannot be tunneled underneath shall be cut. Once the work is complete, the trench is recommended to be immediately backfilled and irrigated until the top 3" of soil is saturated. If done as recommended under the project arborist's supervision, impacts are expected to be minor. It is recommended to deep water fertilize the trees with Nutriroot where excavation has taken place closer than 10x diameter once the work has been completed as an additional mitigation measure for any minor impacts and to maintain irrigation for the trees. The redwood trees are recommended to be irrigated every other week during the dry season. It is recommended to install an inline drip emitter system set up in a grid like manner to provide deep irrigation during the dry season within the tree protection zones. The irrigation system should be placed on top of grade and require no excavation. This will help to keep the trees healthy. The oak trees shall only be irrigated under the project arborist's direction as oak trees are sensitive to irrigation.



251 Selby (25)

Tree Protection Plan:

In the town of Atherton, tree protection fencing should be placed at 8 to 10 times diameter as required. Tree protection zones should be established and maintained throughout the entire length of the project. Fencing for the protection zones should be 6 foot tall metal chain link (minimum 12 gauge) supported by 2 inch galvanized iron post pounded into the ground by no less than 4 feet. The support poles should be spaced no more than 10 feet apart on center. This detail shall appear on grading, excavation, and building permit plans. The location for the protection fencing can be determined by the formula: 8-10 times diameter. Any deviation in determining the tree protection zone will require approval by the Town Arborist. I have approved tree protection fencing being reduced for trees near the proposed work on site. Where the proposed work is to take place within the 10x diameter area of a protected tree, the fencing shall be placed as close as possible to the proposed work. No excavation shall be allowed inside tree protection zones without the Site Arborist consent. Signs should be placed on fencing signifying "Tree Protection Zone - Keep Out". No materials or equipment should be stored or cleaned inside the tree protection zones. It is recommended to mulch the tree protection zones using 4-6 inches of wood chips. Tree protection fencing can only be removed at the end of the project by approval from the Town Arborist. The town of Atherton will require a Tree Protection Procedure Acknowledgment Signature to be signed by the owner of the property or contractor, acknowledging the existence of Heritage Trees on the property and that the Town's Standards and Specifications will be followed throughout the length of the project. Verification that all tree protection fencing measures have been installed will be needed before the issuing of permits as required by the Town. A site meeting with the general contractor, Town Arborist, and Site Arborist before the project starts will be required to review tree protection measures and to establish haul routes, staging areas, etc.



Red lines indicating tree protection zones, and neighboring trees along the driveway entrance to be protected by the existing fence at the property.

251 Selby (26)

Root cutting

Any roots to be cut should be monitored and documented. Large roots measuring 2 inches in diameter or larger will need to be inspected by the Project Arborist before being cut. If possible roots should be cut back to sound lateral roots under the supervision of the Project Arborist. The Project Arborist will likely recommend irrigation if root cutting is significant. Cut all roots clean with a saw or loppers. Roots to be left exposed for a period of time should be covered with layers of burlap and kept moist. The Project Arborist will be on site for excavation near all protected trees on site. If injury is to take place to tree roots proper mitigation measures will need to be applied.

Trenching

Trenching for irrigation, electrical, drainage or any other reason should be hand dug in combination with an air spade when beneath the driplines of protected trees. Hand digging and carefully laying pipes below or beside protected roots will dramatically reduce root loss of desired trees thus reducing trauma to the entire tree. Trenches should be backfilled as soon as possible with native material and compacted to near its original level. Trenches that must be left exposed for a period of time should also be covered with layers of burlap and kept moist. Plywood over the top of the trench will also help protect exposed roots below. All trenching within a tree protection zone will need to be observed by the Site Arborist so that proper mitigation measures can be applied. Any Trenching less than 10x the diameter (dbh) is required to be hand dug including exploratory Trenching if approved to trench closer than 10x.

Grading

The grading contractors are required to meet with the Project Arborist and the Town Arborist at the site prior to beginning grading to review tree protection measures. The Project Arborist shall perform an inspection during the course of rough grading adjacent to the tree protection zone to ensure trees will not be injured by compaction, cut or fill, drainage and trenching, and if required, inspect aeration systems, tree wells, drains and special paving. The Site Arborist shall be notified at least 48 hours before an inspection is needed. If compaction from grading has taken place within a tree protection zone proper mitigation measures will need to be applied.

Irrigation

Normal irrigation should be maintained throughout the entire length of the project. The imported trees on this site will require irrigation during the warm season months. Some irrigation may be required during the winter months depending on the seasonal rainfall. During the summer months the trees on this site should receive heavy flood type irrigation 2 times a month. During the fall and winter 1 time a month should suffice. Matching the root zone of protected trees will help the soil retain moisture, thus reducing water consumption. The native oak trees on site shall not be irrigated unless their root zones are traumatized. Any existing irrigation underneath native oak trees should be permanently suspended. Oak trees shall only be irrigated during the months of May and September.

251 Selby (27)

Required Inspections

A. Pre-Construction Meeting Prior to commencement of construction, the applicant or contractor shall conduct a pre-construction meeting to discuss tree protection with the job site superintendent, grading equipment operators, Project Arborist, and Town Arborist.

B. Inspection of Protective Tree Fencing

The Town Arborist shall be in receipt of a written statement from the applicant or Project Arborist verifying that he has conducted a field inspection of the trees and that the protective tree fencing is in place prior to issuance of a demolition, grading, or building permit.

C. Inspection of Rough Grading

The project arborist shall perform an inspection during the course of rough grading adjacent to the TPZ to ensure trees will not be injured by compaction, cut or fill, drainage and trenching, and if required, inspect aeration systems, tree wells, drains and special paving. The contractor shall provide the Project Arborist at least 48 hours advance notice of such activity.

D. Monthly Inspections

The Project Arborist shall perform monthly inspections to monitor changing conditions and tree health and submit a written report to the Town Arborist.

E. Special Activities within the Tree Protection Zone

Work in this area (TPZ) requires the direct onsite supervision of the Project Arborist.

Kiely Arborist Services can be reached at 650 532 4418 (David), or by email at davidkielyarborist@gmail.com. This information should be kept on site at all times. The information included in this report is believed to be true and based on sound arboricultural principles and practices. David Beckham Sincerely, David Beckham Certified Arborist WE#10724A TRAQ Qualified

Kiely Arborists Services

P.O. Box 6187 San Mateo, CA 94403 650-532-4418

ASSUMPTIONS AND LIMITING CONDITIONS

- 1. Any legal description provided to the consultant/appraiser is assumed to be correct. Any titles and ownerships to any property are assumed to be good and marketable. No responsibility is assumed for matters legal in character. Any and all property is appraised or evaluated as though free and clear, under responsible ownership and competent management. 2. It is assumed that any property is not in violation of any applicable codes, ordinances, statutes, or other government regulations. 3. Care has been taken to obtain all information from reliable sources. All data has been verified insofar as possible; however the consultant/appraiser can neither guarantee nor be responsible for the accuracy of information provided by others.

251 Selby (28)

4. The consultant/appraiser shall not be required to give testimony or to attend court by reason of this report unless subsequent contractual arrangements are made, including payment of an additional fee for such services as described in the fee schedule and contract of engagement.

5. Loss, alteration, or reproduction of any part of this report invalidates the entire report.

6. Possession of this report or a copy thereof does not imply right of publication or use for any purpose by any other than the person to whom it is addressed, without the prior expressed written or verbal consent of the consultant/appraiser.

7. Neither all nor any part of this report, nor any copy thereof, shall be conveyed by anyone, including the client, to the public through advertising, public relations, news, sales or other media, without the prior expressed written or verbal consent of the consultant/appraiser particularly as to value conclusions, identity of the consultant/appraiser, or any reference to any professional society or initiated designation conferred upon the consultant/appraiser as stated in his qualification.

8. This report and the values expressed herein represent the opinion of the consultant/appraiser, and the consultant/appraiser's fee is in no way contingent upon the reporting of a specified value, a stipulated result, the occurrence of a subsequent event, nor upon any finding to be reported.

9. Sketches, diagrams, graphs, and photographs in this report, being intended as visual aids, are not necessarily to scale and should not be construed as engineering or architectural reports or surveys.

10. Unless expressed otherwise: 1) information in this report covers only those items that were examined and reflects the condition of those items at the time of inspection; and 2) the inspection is limited to visual examination of accessible items without dissection, excavation, probing, or coring. There is no warranty or guarantee, expressed or implied, that problems or deficiencies of the plants or property in question may not arise in future.

ARBORIST DISCLOSURE STATEMENT

Arborists are tree specialists who use their education, knowledge, training and experience to examine trees, recommend measures to enhance the beauty and health of trees, and attempt to reduce the risk of living near trees. Clients may choose to accept or disregard the recommendations of the arborist, or seek additional advice.

Arborists cannot detect every condition that could possibly lead to the structural failure of a tree. Trees are living organisms that fail in ways we do not fully understand. Conditions are often hidden within trees and below ground. Arborists cannot guarantee that a tree will be healthy or safe under all circumstances, or for a specified period of time. Likewise, remedial treatments, like a medicine, cannot be guaranteed.

251 Selby (29)

Treatment, pruning, and removal of trees may involve considerations beyond the scope of the arborist's services such as property boundaries, property ownership, site lines, disputes between neighbors, landlord-tenant matters, etc. Arborists cannot take such issues into account unless complete and accurate information is given to the arborist. The person hiring the arborist accepts full responsibility for authorizing the recommended treatment or remedial measures.

Trees can be managed, but they cannot be controlled. To live near a tree is to accept some degree of risk. The only way to eliminate all risks is to eliminate all trees.

Arborist: David Beckham David Beckham Date: July 18th, 2024

251 SELBY LN. ATHERTON CA. 94027 OWNERS: SHILPI & RAKESH AGRAWAL



WWW.BEKOMDESIGN.COM E-MAIL: INFO@BEKOMDESIGN.COM Tel: 408.203.4886 / 408.725.0017

ISSUANCES table with columns: No., Description, Date. Rows include PLAN PRE-APPLICATION, GEOTECH RESP, BLDG SUBMITTAL, BLDG PCC1.

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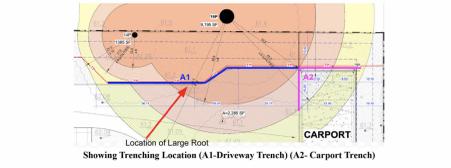
ARBORIST REPORT CONT. 1

Drawing Scale: 1 1/2" = 1'-0"

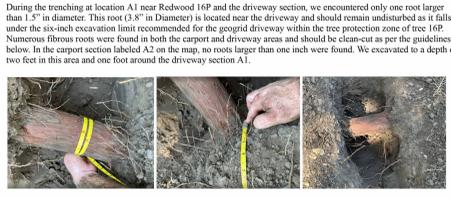
Date: 2024/08/12

AC-0.3.1

Date: July 29th, 2024
 Rakesh Agrawal
 Site: 251 Selby Lane, Atherton CA
 Subject: 251 Selby Lane - Exploratory Trenching Near Neighboring Redwood Tree #16 (protected) for Planning Commission



Kiely Arborist Services LLC Arborist Report



As outlined in the previous report and copied on to page #4 of this letter, it is crucial to follow the recommendations for constructing a geogrid driveway with a maximum cut of six-inches when within the tree protection zone of redwood tree #16.



Showing survey notes on tree in question from tree protection plan

Tree#	Species	DBH	CON	HT/SP	Comments
16'P	Redwood	65est	80	100/30	Good vigor, good form.

(*Sequoia sempervirens*)
 10x diameter=54.1'
 8x diameter=43.3'
 6x diameter=32.5'
 Appraised value= \$36,800

Kiely Arborist Services LLC Arborist Report



Kiely Arborist Services LLC Arborist Report

Please ensure that all activities conducted within the tree protection zone adhere to the guidelines set forth in the tree protection plan report. This adherence will help minimize impacts, which are expected to be minor if any.

Proposed Town Arborist Exception:
 Driveway
 Trees #1-4, 6, 8, 10, and 16 will need a Town Arborist Exception as the proposed driveway is shown closer than 8x the diameter of the tree. The driveway is shown at 8x the diameter of tree #11. Trees #1-4, 6, and 8 are neighboring Redwood trees along the entrance to the property. The existing entrance into the property is a landscaped area where roots from the trees in question are likely to be found. The proposed driveway will also need to pass over the root zone of Coast Live Oak trees #10 and 11, and neighboring Redwood tree #16. Redwood trees and Coast Live Oak trees have a good tolerance to construction impacts as seen in the Mabery and Clark Relative Tolerance of Selected Species to Development Impacts. The driveway design will be required to be root-friendly and be one with minimal disturbance into grade to reduce the need to cut roots as much as possible when closer than 8x the tree diameters.

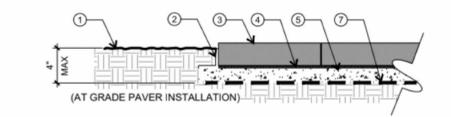
The driveway is recommended to be constructed using Biaxial Geogrid (Tensar BX-1100) as an underlayment to be placed on top of the parent soil. Minor rough surface grading not to exceed more than 6" would be acceptable to get a level surface. Biaxial Geogrid (Tensar BX-1100 or equivalent) is then recommended to be placed on the soil with only hand-tamped compaction preparation used. The geogrid material is to be used as a subgrade layer below aggregate (crack/gravel) and will need to be pinned down to the soil. It is a stiff synthetic permeable material consisting of sets of tensile ribs pre-tensioned in two directions to allow the pinning down of surrounding soil, stone, or other material. Geogrid is often used over soft soils or tree root zones and improves filtration, reduces base thickness needed, compaction of underlying parent soil (65%) and incidents of tree root and soil migration. By using Tensar BX-1100 Biaxial Geogrid compaction can be minimized to relieve the roots from strain caused by passing cars. With Tensar BX-1100 geogrid, compaction can be limited to 85%, and is more than adequate for future root growth.

Any edging needed for the driveway is recommended to be supported above ground by individual stakes. This way the driveway can be constructed as close to top of grade as possible while retaining as many roots as possible. Impacts to the trees would be minor if constructed in this manner. One month before construction is to start the neighboring Redwood trees along the driveway entrance are recommended to be irrigated from the proposed driveway side of the property using 300 gallons of clean water as mitigation for the minor impacts. The remaining trees all have large, landscaped areas between the trees and the driveway where minor supplemental irrigation can be prescribed as a mitigation measure for the expected minor impacts. Oak trees #10 and #11 are recommended to be irrigated at the proposed driveway edge every other week for one year using 40 gallons of water at a time per tree. Deep water fertilizing with Nutriroot is also recommended. This will act as mitigation for the minor impacts. After one year irrigation near the oaks is recommended to be suspended. Redwood tree #16 is recommended to be irrigated every other week during the dry season with 40 gallons of clean water within the landscaped area. This type of irrigation is recommended to continue throughout the lifespan of the Redwood tree.

Tree #	DBH	Distance to work	% of root zone
#1	24	6.5' or 2.7x DBH	17.1%
#2	22	5' or 2.7x DBH	18.3%
#3	24	4' or 2x DBH	22%
#4	15	7' or 5.6x DBH	13.4%
#6	20	5' or 3x DBH	11.2%
#8	25	12' or 5.7x DBH	14.2%
#10	43	20.9' or 5.8x DBH	28.7%
#11	30	20' or 8x DBH	5.7%
#16	65	26' or 4.8x DBH	24.9% (total including carport)

Kiely Arborist Services LLC Arborist Report

By constructing the driveway using Biaxial geogrid as described, the percentage of root impacts is expected to be much lower as the majority of tree roots can be retained within the proposed driveway.



- Showing examples of geogrid driveway installation as used on past projects.
- ADJACENT FINISH GRADE
 - PAVER EDGING - NAIL PER MANUFACTURER'S SPECIFICATIONS
 - PRECAST CONCRETE PAVERS - SEE FINISH SCHEDULE
 - 1" SAND LEVELING BED
 - CLASS II AGGREGATE BASE - SECTION PER SOILS ENGINEER
 - BIAxIAL GEOGRID
 - BIAxIAL GEOGRID

Carport:
 The proposed carport near neighboring redwood tree #16 is located at 6x the diameter of the tree. The entire proposed foundation within 10x the diameter of the tree is recommended/required to be excavated by hand in combination with hand tools such as an air knife, rotary hammer with clay spike attachment, or shovels, while under the direct supervision of the Project Arborist. No roots were encountered within 2' of excavation during the exploratory trench work. Only small fibrous roots were found. All roots regardless of size are recommended to be cleanly cut back to the wall of excavation. Very minor impacts are expected. The recommended irrigation and deep water fertilizing will act as mitigation.

Redwood trees have a good tolerance to construction impacts as seen in the Mabery and Clark Relative Tolerance of Selected Species to Development Impacts. The combined percentage of root zone impacts including the driveway work is 24.9%. The tree is recommended to be deep water fertilized using Nutriroot as a mitigation measure once roots have been cut. Irrigation between the tree and the driveway/carport is recommended. Every other week during the dry season, 50 gallons of water should be given to the tree. Impacts are expected to be minor.

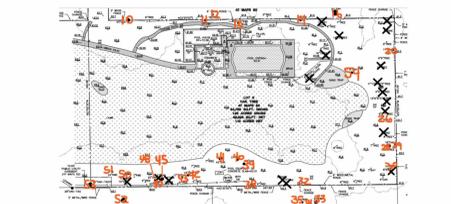
Should you have any questions or require further clarification, please do not hesitate to contact me. We are committed to ensuring the health and longevity of your trees while facilitating your construction needs.

Kiely Arborist Services LLC Arborist Report

Sincerely,

 Signature of Consultant
 David Beckham
 Certified Arborist
 WE10724A TRAQ Qualified
 July 29, 2024

METHOD OF INSPECTION
 The inspections were conducted from the ground without climbing the trees. No tissue samples or root crown inspections were performed. The trees under consideration were identified based on the provided site plan. To assess the trees, their diameter at 54 inches above ground level (DBH or diameter at breast height) was measured using a D-Tape. For the surveying of multi-trunk trees, our methodology aligns with city ordinances. In cases where the city does not offer specific guidelines for measuring multi-trunk trees, we adhere to the standards outlined in the "Guide for Plant Appraisal, 10th Edition, Second Printing" by the Council of Tree and Landscape Appraisers. Additionally, the protected trees were evaluated for their health, structure, form, and suitability for preservation with the following explanation of the ratings:



Kiely Arborist Services LLC Arborist Report

EVALUATION FIELDS:

Tree Tag #	Protected Tree
Identification number for individual trees.	Specifies whether the tree is protected by the city or county ordinance.
Height (H) - Canopy Spread (CS)	Trunk (TR)
Measures both the height of the tree and the spread of its canopy.	Measures the primary trunk's diameter at the required height.
Comments	Tree Pictures
Any additional notes or observations about the tree.	A photograph of the tree for the visual assessment and record-keeping.
Presence or Removal	Common Name / Scientific Name
Indicates the recommended action based on the tree's condition.	Specifies the name of the tree, both in common terms and scientific nomenclature.
If more than 3 Trunks, Total Diameter	If 3, 4, 10 Times the Diameter (D)
If the tree has multiple trunks, this field indicates the combined diameter of all trunks.	Provides calculations based on the diameter to assist in various tree protection requirements.
Appraisal Value	
An optional estimate of the tree's worth is performed in accordance with the current edition of the Guide for Plant Appraisal by the Council of Tree and Landscape Appraisers.	

*Note that not all fields may be provided for every tree. Some might be left blank due to various reasons, such as lack of accessibility to the tree, incomplete data, or the printer not being applicable for a particular tree.

Tree Structure Rating:	Tree Health Rating:
Poor: Major unserviceable structural flaws present; significant dead wood, decay, or multiple trunks; potentially hazardous lean.	Poor: Minimal new growth; significant dieback and pest infestation; expected not to reach natural lifespan.
Fair: Structural flaws exist but less severe; issues like slight lean and cavities on trunk; some unserviceable issues through pruning.	Fair: Moderate new growth; canopy density 60-80%; potential central leaders; not as flexible but viable.
Good: Minor flaws; mainly upright trunk; well-spaced branches; flaws correctable through pruning; symmetrical or mostly symmetrical canopy.	Good: Vigorous growth; healthy foliage; 90-100% canopy density; expected natural lifespan.
Suitability for Preservation:	Tree Form Rating:
Poor: Adds little to landscape; poor health and potential hazards; unlikely to survive construction impacts.	Poor: Highly asymmetric or abnormal form; visually unappealing; little landscape function.
Fair: Contributes to landscape; survival possible with protection during minor construction impacts.	Fair: Significant asymmetry; deviation from species norm; compromised function or aesthetics.
Good: Valuable landscape asset; likely survival during minor to moderate construction impacts with protection.	Good: Near ideal form; minor deviations; consistent aesthetics and function to landscape.

Overall Condition Rating:	Value
Very Poor	1-29
Poor	30-49
Fair	50-69
Good	70-89
Excellent	90-100

The trees were assigned a condition rating based on a combination of existing tree health, tree structure, and tree form using the following scale.

Kiely Arborist Services LLC Arborist Report

ASSUMPTIONS AND LIMITING CONDITIONS

- Legal Descriptions and Titles:** The consultant/arborist assumes the accuracy of any legal description and titles provided. No responsibility is assumed for any legal due diligence. The consultant/arborist shall not be held liable for any discrepancies or issues arising from incorrect legal descriptions or faulty titles.
- Compliance with Laws and Regulations:** The property is assumed to be in compliance with all applicable codes, ordinances, statutes, or other government regulations. The consultant/arborist is not responsible for identifying or rectifying any non-compliance.
- Reliability of Information:** Though diligent efforts have been made to obtain and verify information, the consultant/arborist is not responsible for inaccuracies or incomplete data provided by external sources. The client accepts full responsibility for any decisions or actions taken based on this data.
- Testimony or Court Attendance:** The consultant/arborist has no obligation to provide testimony or attend court regarding this report unless mutually agreed upon through separate written agreements, which may incur additional fees.
- Report Integrity:** Unauthorized alteration, loss, or reproduction of this report renders it invalid. The consultant/arborist shall not be liable for any interpretations or conclusions made from altered reports.
- Restricted Publication and Use:** This report is exclusively for the use of the original client. Any other use or dissemination, without prior written consent from the consultant/arborist, is strictly prohibited.
- Non-disclosure to Public Media:** The client is prohibited from using any content of this report, including the consultant/arborist's identity, in any public communication without prior written consent.
- Opinion-based Report:** The report represents the independent, professional judgment of the consultant/arborist. The fee is not contingent upon any predetermined outcomes, values, or events.
- Visual Aids Limitation:** Visual aids are for illustrative purposes and should not be considered precise representations. They are not substitutes for formal engineering, architectural, or survey reports.
- Inspection Limitations:** The consultant/arborist's inspection is limited to visible and accessible components. Non-invasive methods are used. There is no warranty or guarantee that problems will not develop in the future.

ARBORIST DISCLOSURE STATEMENT

Arborists specialize in the assessment and care of trees using their education, knowledge, training, and experience.

- Limitations of Tree Assessment:** Arborists cannot guarantee the detection of all conditions that could compromise a tree's structure or health. The consultant/arborist makes no warranties regarding the future condition of trees and shall not be liable for any incidents or damages resulting from tree failures.
- Remedial Treatments Uncertainty:** Remedial treatments for trees have variable outcomes and cannot be guaranteed.
- Considerations Beyond Scope:** The consultant/arborist's services are confined to tree assessment and care. The client assumes responsibility for matters involving property boundaries, ownership, disputes, and other non-arboricultural considerations.
- Inherent Risks:** Living near trees inherently involves risks. The consultant/arborist is not responsible for any incidents or damages arising from such risks.
- Client's Responsibility:** The client is responsible for considering the information and recommendations provided by the consultant/arborist and for any decisions made or actions taken.

The client acknowledges and accepts these Assumptions and Limiting Conditions and Arborist Disclosure Statement, recognizing that reliance upon this report is at their own risk. The consultant/arborist disclaims all warranties, express or implied.

Kiely Arborist Services LLC Arborist Report

CERTIFICATION

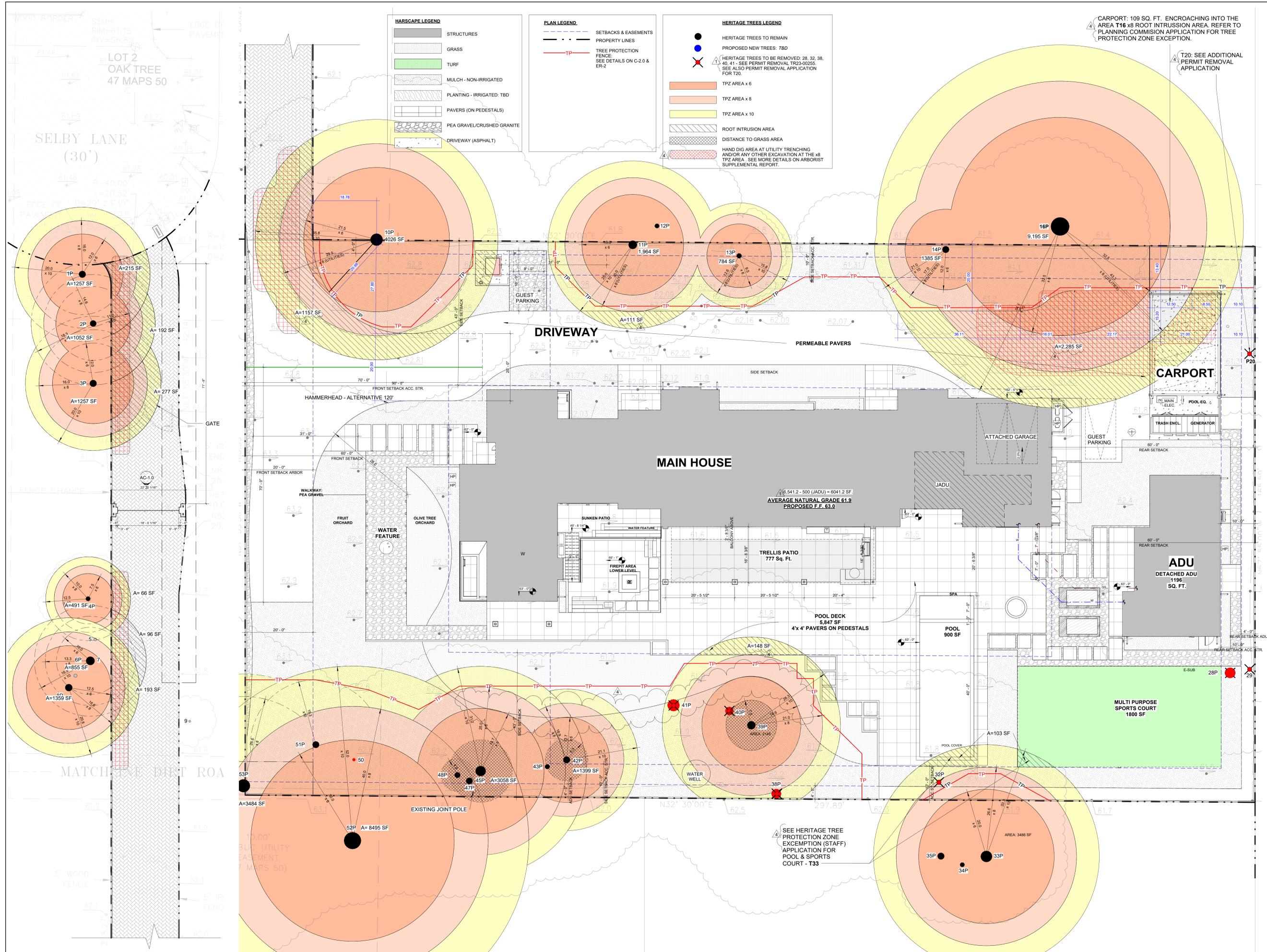
I hereby certify that all the statements of fact in this report are true, complete, and correct to the best of my knowledge and belief, and are made in good faith.

Signature of Consultant
 David Beckham
 Certified Arborist
 WE10724A TRAQ Qualified
 July 29th, 2024

ISSUANCES

No.	Description	Date
1	PLN PRE-APPLICATION	10/10/2023
2	GEOTECH RESP.	06/05/2024
3	BLDG SUBMITTAL	06/13/2024

Checked By: _____ Checker: _____



HARDSCAPE LEGEND

- STRUCTURES
- GRASS
- TURF
- MULCH - NON-IRRIGATED
- PLANTING - IRRIGATED: TBD
- PAVERS (ON PEDESTALS)
- PEA GRAVEL/CRUSHED GRANITE
- DRIVEWAY (ASPHALT)

PLAN LEGEND

- SETBACKS & EASEMENTS
- PROPERTY LINES
- TREE PROTECTION FENCE: SEE DETAILS ON C-2.0 & ER-2

HERITAGE TREES LEGEND

- HERITAGE TREES TO REMAIN
- PROPOSED NEW TREES: TBD
- HERITAGE TREES TO BE REMOVED: 28, 32, 38, 40, 41 - SEE PERMIT REMOVAL TR23-00255. SEE ALSO PERMIT REMOVAL APPLICATION FOR T20.
- TPZ AREA x 6
- TPZ AREA x 8
- TPZ AREA x 10
- ROOT INTRUSION AREA
- DISTANCE TO GRASS AREA
- HAND DIG AREA AT UTILITY TRENCHING AND/OR ANY OTHER EXCAVATION AT THE x8 TPZ AREA - SEE MORE DETAILS ON ARBORIST SUPPLEMENTAL REPORT.

CARPORT: 109 SQ. FT. ENCRoACHING INTO THE AREA T16 x8 ROOT INTRUSION AREA. REFER TO PLANNING COMMISSION APPLICATION FOR TREE PROTECTION ZONE EXCEPTION.

T20: SEE ADDITIONAL PERMIT REMOVAL APPLICATION

251 SELBY LN.
ATHERTON CA. 94027
 OWNERS: SHILPI & RAKESH AGRAWAL

BEKOM design
 WWW.BEKOMDESIGN.COM
 E-MAIL: INFO@BEKOMDESIGN.COM
 TEL: 408.203.4886
 /408.726.0017

ISSUANCES

No.	Description	Date
1	PLN PRE-APPLICATION	10/10/2023
2	PC1 REV 1	04/25/2024
3	GEOTECH RESP.	06/05/2024
4	BLDG SUBMITTAL	06/13/2024
5	BLDG PCC1	07/15/2024

Checked By: _____ Checker: _____

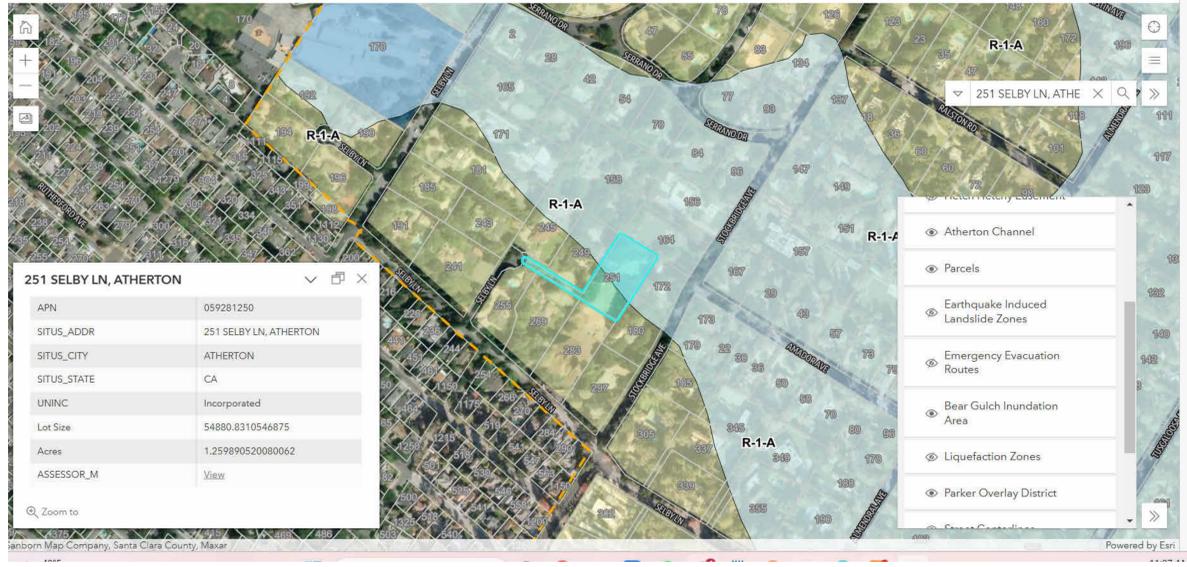
PROPOSED TPZ PLAN 1

Drawing Scale: 1" = 10'-0"
 Date: 2024/08/12

AC-0.4

2 PROPOSED TPZ PLAN N - ENTRY GATE - Dependent 1
 1" = 10'-0"

1 PROPOSED TPZ PLAN - Dependent 1
 1" = 10'-0"



251 SELBY LN- EXTERIOR MATERIAL BOARD

DOORS AND WINDOWS ALUMINUM SIMULATED STEEL BLACK	SMOOTH STUCCO PAINTED SHERWIN WILLIAMS SW 7018 DOVETAIL	FIBER CEMENT BOARDS MAGNOLIA COLLECTION. COLOR: LAST EMBERS	EXTERIOR WALL- ACCENT SALADO SONOMA WHITE LIMESTONE	FASCIA DARK BRONZE METAL
GARAGE DOOR CUSTOM WOOD: FOREST GARAGE DOORS VERTICAL WINDOWS / CLEAR MATERIAL & COLOR: MAHOGANY CLEAR STAIN FOR EXTERIORS	ENTRY DOORS: Mid-Century Modern vertical planks Front Door With Side Windows - PIVOT MATERIAL & COLOR: Sapele mahogany / clear stain for exteriors	STANDING SEAM METAL ROOFING AND GUTTER DARK BRONZE (50) 24 GAUGE BLACK CAT KM4883	DARK BRONZE STUCCO	

BEKOM design

**251 SELBY LN.
ATHERTON CA. 94027**

OWNERS: SHILPI & RAKESH AGRAWAL

1 PROPERTY ZONING DATA Copy 1
1/4" = 1'-0"

2 MATERIAL BOARD Copy 1
1 1/2" = 1'-0"



3 3D VIEW LOGGIA Copy 1
NOT TO SCALE

4 3D - EX - FROM MBR Copy 1
NOT TO SCALE



5 EX - EXTERIOR REAR VIEW Copy 1
NOT TO SCALE



6 CARPORT 3D VIEWS Copy 1

BEKOM design

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Tel: 408.203.4886 / 408.725.0017

ISSUANCES

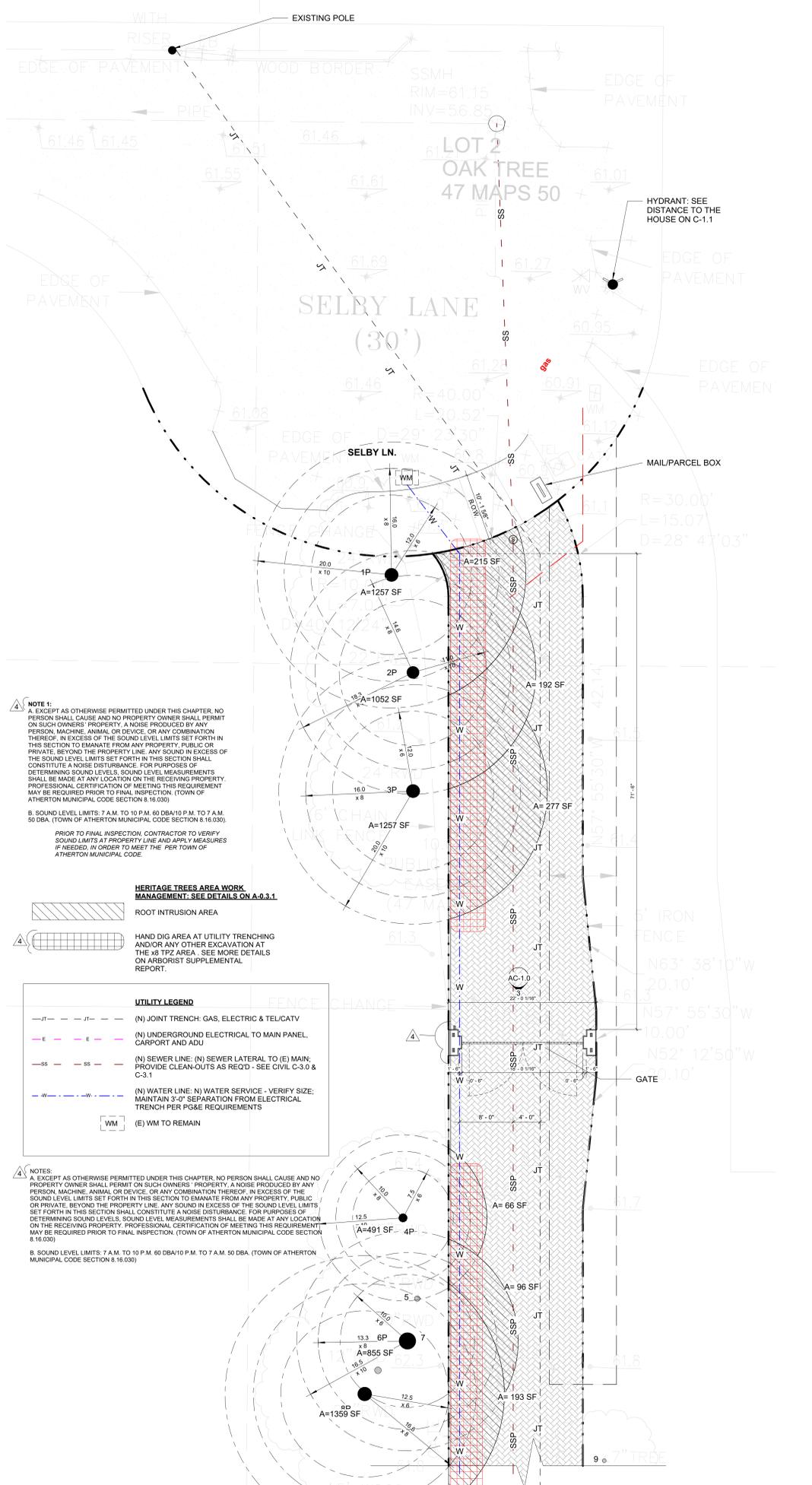
No.	Description	Date
1	PLN PRE-APPLICATION	10/10/2023
1	PC1 REV 1	04/25/2024
2	GEOTECH RESP.	06/05/2024
3	BLDG SUBMITTAL	06/13/2024

Checked By: _____ Checker

3D VIEWS /
MATERIAL
BOARD /
PROPERTY
FLOOD ZONE
DATA 1

Drawing Scale: As indicated
Date: 2024/08/12

AC-0.5



NOTE 1:
A. EXCEPT AS OTHERWISE PERMITTED UNDER THIS CHAPTER, NO PERSON SHALL CAUSE AND NO PROPERTY OWNER SHALL PERMIT ON SUCH OWNERS' PROPERTY A NOISE PRODUCED BY ANY PERSON, MACHINE, ANIMAL, OR DEVICE, OR ANY COMBINATION THEREOF, IN EXCESS OF THE SOUND LEVEL LIMITS SET FORTH IN THIS SECTION TO EMANATE FROM ANY PROPERTY, PUBLIC OR PRIVATE, BEYOND THE PROPERTY LINE. ANY SOUND IN EXCESS OF THE SOUND LEVEL LIMITS SET FORTH IN THIS SECTION SHALL CONSTITUTE A NOISE DISTURBANCE. FOR PURPOSES OF DETERMINING SOUND LEVELS, SOUND LEVEL MEASUREMENTS SHALL BE MADE AT ANY LOCATION ON THE RECEIVING PROPERTY. PROFESSIONAL CERTIFICATION OF MEETING THIS REQUIREMENT MAY BE REQUIRED PRIOR TO FINAL INSPECTION. (TOWN OF ATHERTON MUNICIPAL CODE SECTION 8.16.030)

B. SOUND LEVEL LIMITS: 7 A.M. TO 10 P.M. 60 DBA/10 P.M. TO 7 A.M. 50 DBA. (TOWN OF ATHERTON MUNICIPAL CODE SECTION 8.16.030)

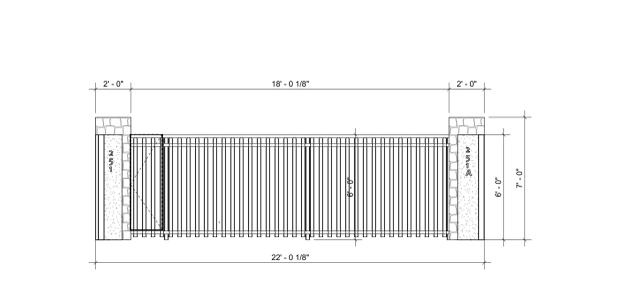
PRIOR TO FINAL INSPECTION, CONTRACTOR TO VERIFY SOUND LEVELS AT PROPERTY LINE AND APPLY MEASURES IF NEEDED, IN ORDER TO MEET THE PER TOWN OF ATHERTON MUNICIPAL CODE.

- HERITAGE TREES AREA WORK MANAGEMENT: SEE DETAILS ON A-0.3.1**
- ROOT INTRUSION AREA
 - HAND DIG AREA AT UTILITY TRENCHING AND/OR ANY OTHER EXCAVATION AT THE 48" TRENCH AREA. SEE MORE DETAILS ON ARBORIST SUPPLEMENTAL REPORT.
- UTILITY LEGEND**
- JT— (N) JOINT TRENCH: GAS, ELECTRIC & TEL/CATV
 - E— (N) UNDERGROUND ELECTRICAL TO MAIN PANEL, CARPORT AND ADU
 - SS— (N) SEWER LINE: (N) SEWER LATERAL TO (E) MAIN; PROVIDE CLEAN-OUTS AS REQ'D - SEE CIVIL C-3.0 & C-3.1
 - W— (N) WATER LINE: (N) WATER SERVICE - VERIFY SIZE; MAINTAIN 3'-0" SEPARATION FROM ELECTRICAL TRENCH PER PSCS REQUIREMENTS
 - WM (E) WM TO REMAIN

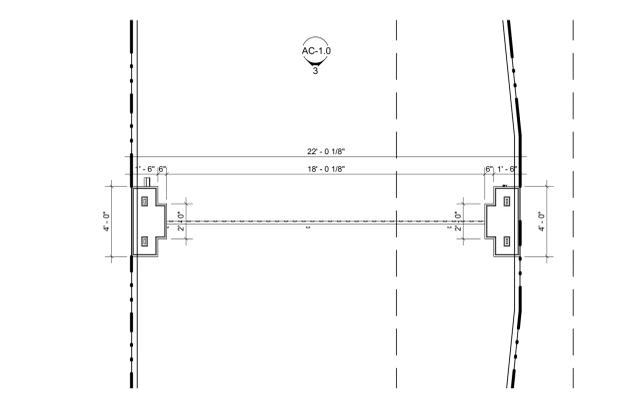
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1 PROPOSED SITE PLAN - ENTRY GATE Copy 1
1/8" = 1'-0"



3 Elevation 14 - a Copy 1
1/4" = 1'-0"



2 PROPOSED ENTRY GATE Copy 1
1/4" = 1'-0"



5 3D - VIEW FROM GATE Copy 1
1 1/2" = 1'-0"



4 AERIAL VIEW 1 Copy 1
NOT TO SCALE

251 SELBY LN.
ATHERTON CA. 94027

OWNERS: SHILPI & RAKESH AGRAWAL

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No.	Description	Date
1	PLN PRE-APPLICATION	10/10/2023
1	PC1 REV 1	04/25/2024
2	GEOTECH RESP.	06/05/2024
3	BLDG SUBMITTAL	06/13/2024
4	BLDG PCC1	07/15/2024

Checked By: _____ Checker: _____

PROPOSED PLOT PLAN - ENTRY GATE 1

Drawing Scale: As indicated
Date: 2024/08/12

AC-1.0



ISSUANCES

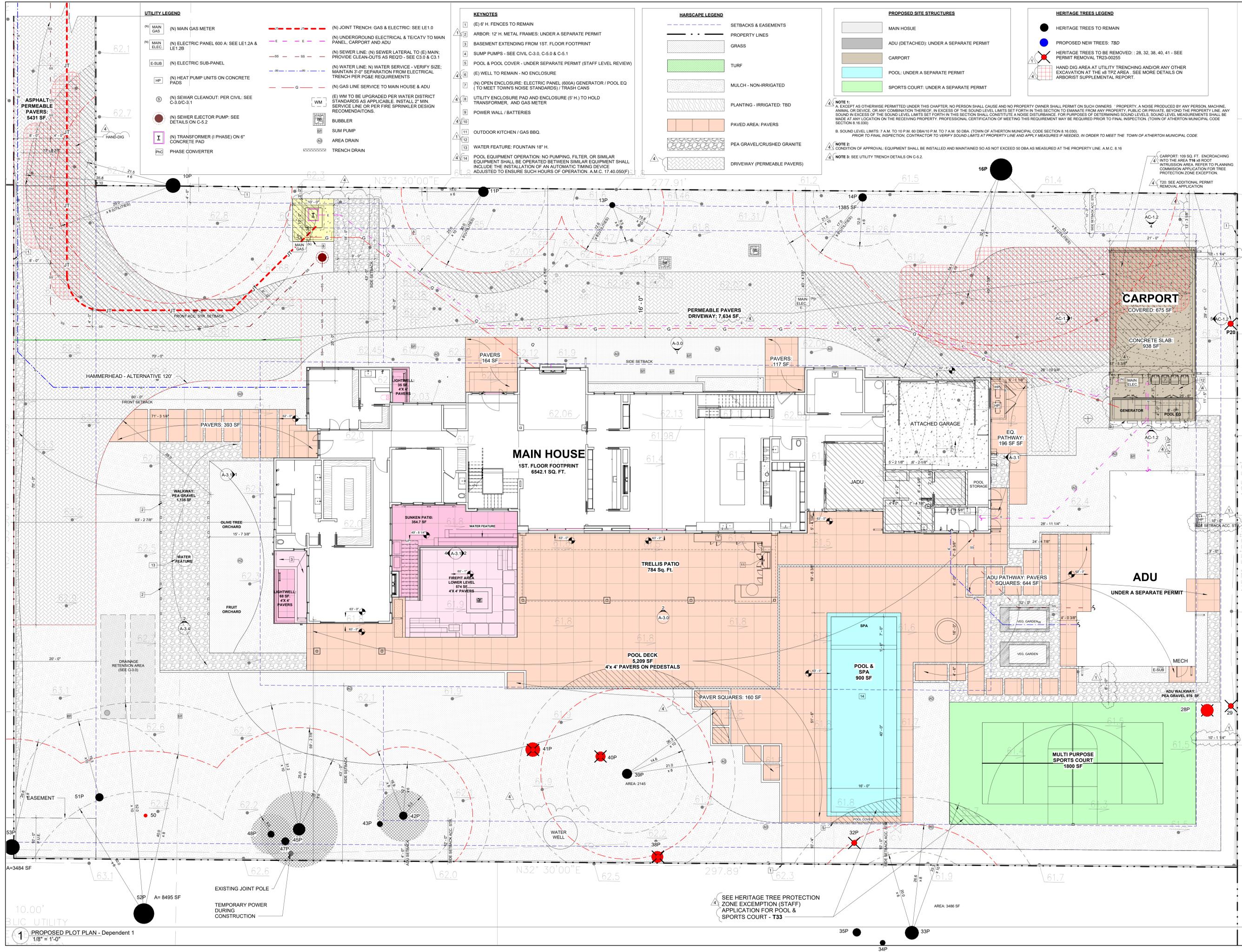
No.	Description	Date
1	PLN PRE-APPLICATION	10/10/2023
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5	BLDG PCC1	07/15/2024

Checked By: _____ Checker: _____

PROPOSED PLOT PLAN 1

Drawing Scale: 1/8" = 1'-0"
 Date: 2024/08/12

AC-1.1



UTILITY LEGEND

(N) MAIN GAS	(N) MAIN GAS METER	(N) JOINT TRENCH: GAS & ELECTRIC: SEE LE1.0
(N) MAIN ELEC.	(N) ELECTRIC PANEL 600 A: SEE LE1.2A & LE1.2B	(N) UNDERGROUND ELECTRICAL & TE/CATV TO MAIN PANEL, CARPORT AND ADU
(E) SUB	(N) ELECTRIC SUB-PANEL	(N) SEWER LINE: (N) SEWER LATERAL TO (E) MAIN. PROVIDE CLEAN-OUTS AS REQ'D - SEE C3.0 & C3.1
(HP)	(N) HEAT PUMP UNITS ON CONCRETE PADS	(N) WATER LINE: (N) WATER SERVICE - VERIFY SIZE; MAINTAIN 3'-0" SEPARATION FROM ELECTRICAL TRENCH PER PG&E REQUIREMENTS
(S)	(N) SEWER CLEANOUT: PER CIVIL: SEE C-3.0/C-3.1	(N) GAS LINE SERVICE TO MAIN HOUSE & ADU
(P)	(N) SEWER EJECTOR PUMP: SEE DETAILS ON C-5.2	(E) WM TO BE UPGRADED PER WATER DISTRICT STANDARDS AS APPLICABLE. INSTALL 2" MIN. SERVICE LINE OR PER FIRE SPRINKLER DESIGN RECOMMENDATIONS.
(I)	(N) TRANSFORMER (I PHASE) ON 6" CONCRETE PAD	(B) BUBBLER
(PhC)	PHASE CONVERTER	(S) SUM PUMP
		(AD) AREA DRAIN
		(TD) TRENCH DRAIN

KEYNOTES

- (E) 6" H. FENCES TO REMAIN
- ARBOR: 12" H. METAL FRAMES: UNDER A SEPARATE PERMIT
- BASEMENT EXTENDING FROM 1ST. FLOOR FOOTPRINT
- SUMP PUMPS - SEE CIVIL C-3.0, C-5.0 & C-5.1
- POOL & POOL COVER - UNDER SEPARATE PERMIT (STAFF LEVEL REVIEW)
- (E) WELL TO REMAIN - NO ENCLOSURE
- (N) OPEN ENCLOSURE: ELECTRIC PANEL (600A) GENERATOR / POOL EQ (TO MEET TOWN'S NOISE STANDARDS) / TRASH CANS
- UTILITY ENCLOSURE PAD AND ENCLOSURE (5' H.) TO HOLD TRANSFORMER, AND GAS METER
- POWER WALL / BATTERIES
- OUTDOOR KITCHEN / GAS BBQ.
- WATER FEATURE: FOUNTAIN 18" H.
- POOL EQUIPMENT OPERATION: NO PUMPING, FILTER, OR SIMILAR EQUIPMENT SHALL BE OPERATED BETWEEN SIMILAR EQUIPMENT SHALL INCLUDE THE INSTALLATION OF AN AUTOMATIC TIMING DEVICE ADJUSTED TO ENSURE SUCH HOURS OF OPERATION. A.M.C. 17.40.050(F)

HARSCAPE LEGEND

---	SETBACKS & EASEMENTS
---	PROPERTY LINES
---	GRASS
---	TURF
---	MULCH - NON-IRRIGATED
---	PLANTING - IRRIGATED: TBD
---	PAVED AREA: PAVERS
---	PEA GRAVEL/CRUSHED GRANITE
---	DRIVEWAY (PERMEABLE PAVERS)

PROPOSED SITE STRUCTURES

---	MAIN HOUSE
---	ADU (DETACHED): UNDER A SEPARATE PERMIT
---	CARPORT
---	POOL UNDER A SEPARATE PERMIT
---	SPORTS COURT: UNDER A SEPARATE PERMIT

HERITAGE TREES LEGEND

●	HERITAGE TREES TO REMAIN
●	PROPOSED NEW TREES: TBD
✗	HERITAGE TREES TO BE REMOVED: 28, 32, 38, 40, 41 - SEE PERMIT REMOVAL TR23-00255
⊠	HAND DIG AREA AT UTILITY TRENCHING AND/OR ANY OTHER EXCAVATION AT THE X8 TPZ AREA - SEE MORE DETAILS ON ARBORIST SUPPLEMENTAL REPORT.

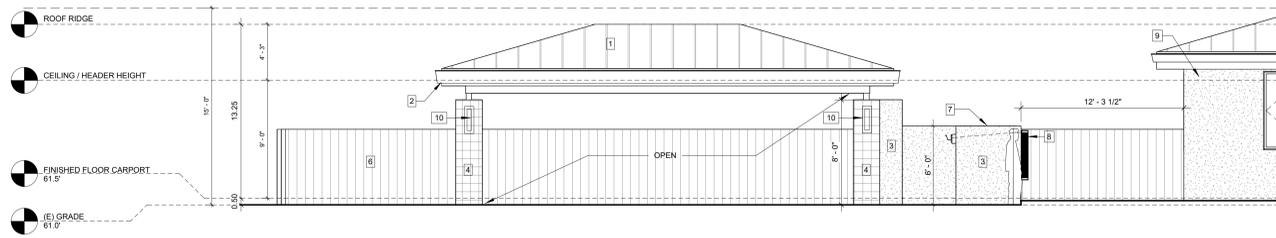
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NOTE 2: CONDITION OF APPROVAL: EQUIPMENT SHALL BE INSTALLED AND MAINTAINED SO AS NOT EXCEED 50 DBA AS MEASURED AT THE PROPERTY LINE. A.M.C. 8.16

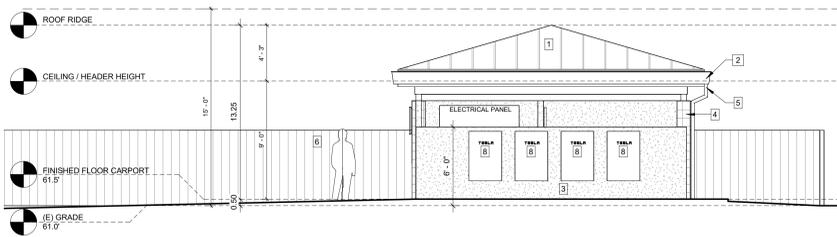
NOTE 3: SEE UTILITY TRENCH DETAILS ON C-5.2

10.00' PUBLIC UTILITY
 1 PROPOSED PLOT PLAN - Dependent 1
 1/8" = 1'-0"

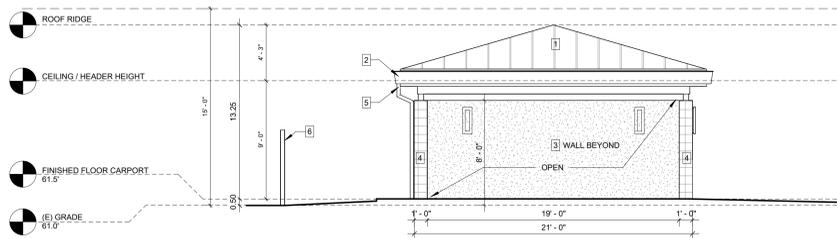
- KEYNOTES:**
- METAL ROOF, STANDING SEAM MS METAL SALES: MAGNA LOCK / DARK BRONZE
 - WOOD PAINTED FASCIA TO MATCH ROOF AND GUTTERS
 - SMOOTH STUCCO PAINTED: BENJAMIN MOORE 904 WHITE BLUSH
 - STONE VENEER: SALADO STONE / WHITE
 - DOWNSPUTS & GUTTERS: METAL / ANODIZED METAL / RECTANGULAR PROFILE 3.5" W. x 8" H / COLOR: TO MATCH ROOF
 - FENCE BEYOND
 - COVERED ENCLOSURE FOR GENERATOR AND POOL EQUIPMENT
 - SOLAR BATTERIES: DEFERRED PERMIT
 - DETACHED ADU - UNDER A SEPARATE PERMIT
 - EXTERIOR LIGHTS SCONCES: SHIELDED OR DOWNLIGHT. SEE DETAILS ON SHEET 4/A-8.4 / SEE LED 1: "LED ON LIGHT SCHEDULE"



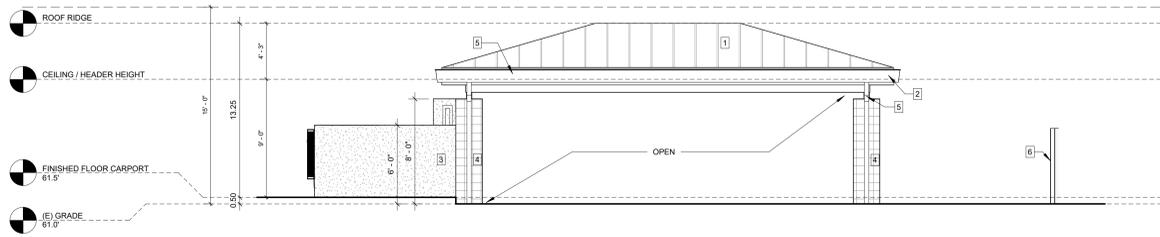
1 CARPORT SOUTH ELEVATION Copy 1
3/16" = 1'-0"



3 CARPORT WEST ELEVATION Copy 1
3/16" = 1'-0"



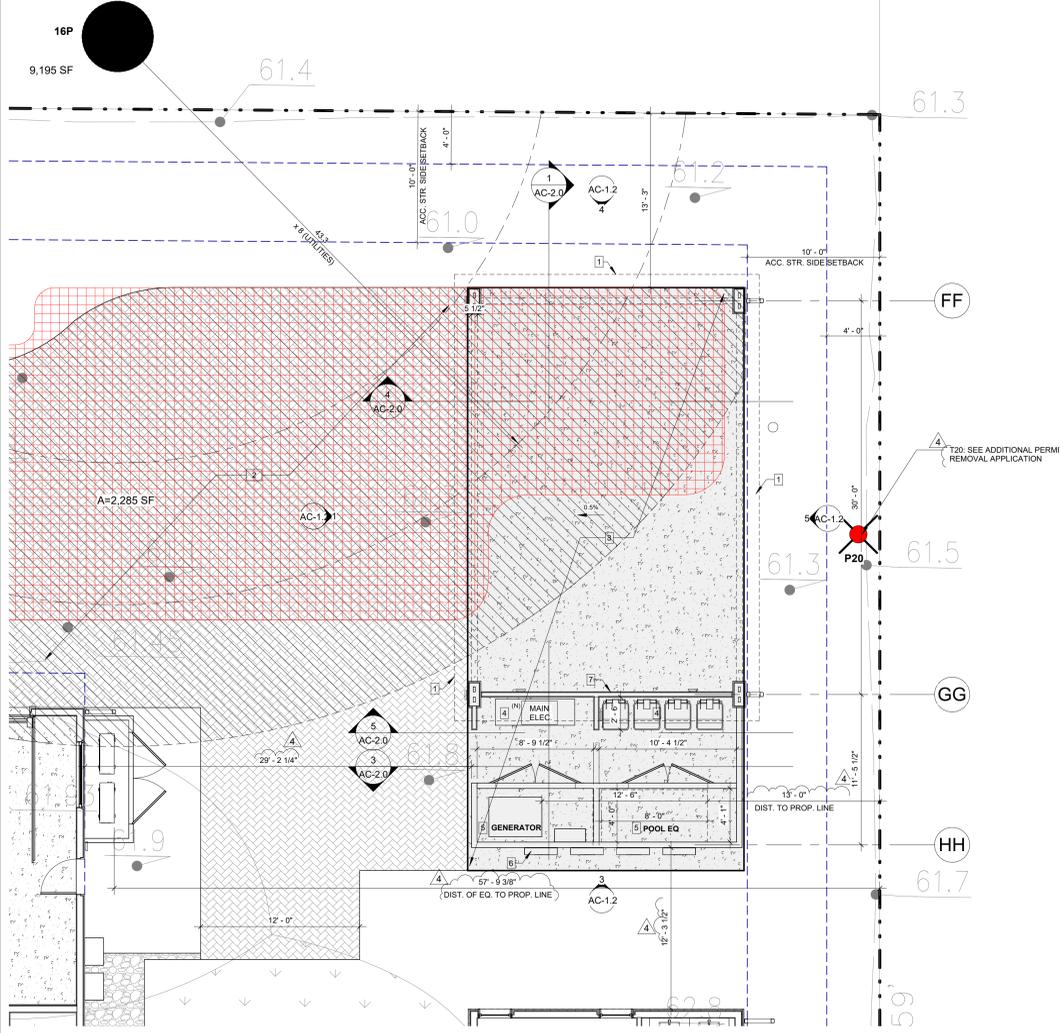
4 CARPORT EAST ELEVATION Copy 1
3/16" = 1'-0"



5 CARPORT NORTH ELEVATION Copy 1
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- PRIOR TO FINAL INSPECTION, CONTRACTOR TO VERIFY SOUND LIMITS AT PROPERTY LINE AND APPLY MEASURES IF NEEDED, IN ORDER TO MEET THE PER TOWN OF ATHERTON MUNICIPAL CODE.

4 HAND-DIG AREA. SEE SUPPLEMENTAL ARBORIST REPORT ON A-0.3.1



2 PROPOSED CARPORT FLOOR PLAN Copy 1
3/16" = 1'-0"

- KEYNOTES:**
- ROOF OVERHANG
 - PERMEABLE PAVERS
 - CONCRETE PAD
 - ELECTRIC PANEL AND TRASH ENCLOSURE WALLS WOOD FRAMED/STUCCO FINISH TO MATCH MAIN HOUSE
 - GENERATOR & POOL EQUIPMENT ENCLOSURE COVERED UNDER 6" HI AND INSULATED, TO MEET TOWN OF ATHERTON MUNICIPAL CODE SECTION 8.16.030 - SEE GENERATOR SPECS ON 6/A-1.5
 - PV SYSTEM, BATTERIES, DEFERRED SUBMITTAL
 - 8" H WALL FOR ELECTRICAL PANEL

251 SELBY LN.
ATHERTON CA, 94027

OWNERS: SHILPI & RAKESH AGRAWAL

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ISSUANCES

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5	BLDG PCC1	07/15/2024

Checked By: _____ Checker: _____

SAMSUNG SUBMITTAL AM146XVGR/A
Samsung, DVM S2 Series, Heat Recovery Condensing Unit

Job Name: _____ Location: _____
Purchaser: _____ Engineer: _____
Submitted to: _____ Reference: _____ Approval: _____ Construction: _____
Unit Designation: _____ Schedule # _____

System Specifications	Value
SEER (Seasonal Energy Efficiency Ratio)	12
Capacity (Btu/h)	144,000 / 144,000
Input Power (kW)	12.1 / 12.1
SEER (Seasonal Energy Efficiency Ratio)	12
High Heat COP (Coefficient of Performance)	3.58 / 3.52

Accessories

Part	Description
AS01-01	Standard 1/2" x 1/2" x 1/2" (3/4" x 3/4" x 3/4")
AS01-02	Standard 1/2" x 1/2" x 1/2" (3/4" x 3/4" x 3/4")
AS01-03	Standard 1/2" x 1/2" x 1/2" (3/4" x 3/4" x 3/4")
AS01-04	Standard 1/2" x 1/2" x 1/2" (3/4" x 3/4" x 3/4")
AS01-05	Standard 1/2" x 1/2" x 1/2" (3/4" x 3/4" x 3/4")
AS01-06	Standard 1/2" x 1/2" x 1/2" (3/4" x 3/4" x 3/4")
AS01-07	Standard 1/2" x 1/2" x 1/2" (3/4" x 3/4" x 3/4")
AS01-08	Standard 1/2" x 1/2" x 1/2" (3/4" x 3/4" x 3/4")
AS01-09	Standard 1/2" x 1/2" x 1/2" (3/4" x 3/4" x 3/4")
AS01-10	Standard 1/2" x 1/2" x 1/2" (3/4" x 3/4" x 3/4")
AS01-11	Standard 1/2" x 1/2" x 1/2" (3/4" x 3/4" x 3/4")
AS01-12	Standard 1/2" x 1/2" x 1/2" (3/4" x 3/4" x 3/4")
AS01-13	Standard 1/2" x 1/2" x 1/2" (3/4" x 3/4" x 3/4")
AS01-14	Standard 1/2" x 1/2" x 1/2" (3/4" x 3/4" x 3/4")
AS01-15	Standard 1/2" x 1/2" x 1/2" (3/4" x 3/4" x 3/4")
AS01-16	Standard 1/2" x 1/2" x 1/2" (3/4" x 3/4" x 3/4")
AS01-17	Standard 1/2" x 1/2" x 1/2" (3/4" x 3/4" x 3/4")
AS01-18	Standard 1/2" x 1/2" x 1/2" (3/4" x 3/4" x 3/4")
AS01-19	Standard 1/2" x 1/2" x 1/2" (3/4" x 3/4" x 3/4")
AS01-20	Standard 1/2" x 1/2" x 1/2" (3/4" x 3/4" x 3/4")
AS01-21	Standard 1/2" x 1/2" x 1/2" (3/4" x 3/4" x 3/4")
AS01-22	Standard 1/2" x 1/2" x 1/2" (3/4" x 3/4" x 3/4")
AS01-23	Standard 1/2" x 1/2" x 1/2" (3/4" x 3/4" x 3/4")
AS01-24	Standard 1/2" x 1/2" x 1/2" (3/4" x 3/4" x 3/4")
AS01-25	Standard 1/2" x 1/2" x 1/2" (3/4" x 3/4" x 3/4")
AS01-26	Standard 1/2" x 1/2" x 1/2" (3/4" x 3/4" x 3/4")
AS01-27	Standard 1/2" x 1/2" x 1/2" (3/4" x 3/4" x 3/4")
AS01-28	Standard 1/2" x 1/2" x 1/2" (3/4" x 3/4" x 3/4")
AS01-29	Standard 1/2" x 1/2" x 1/2" (3/4" x 3/4" x 3/4")
AS01-30	Standard 1/2" x 1/2" x 1/2" (3/4" x 3/4" x 3/4")
AS01-31	Standard 1/2" x 1/2" x 1/2" (3/4" x 3/4" x 3/4")
AS01-32	Standard 1/2" x 1/2" x 1/2" (3/4" x 3/4" x 3/4")
AS01-33	Standard 1/2" x 1/2" x 1/2" (3/4" x 3/4" x 3/4")
AS01-34	Standard 1/2" x 1/2" x 1/2" (3/4" x 3/4" x 3/4")
AS01-35	Standard 1/2" x 1/2" x 1/2" (3/4" x 3/4" x 3/4")
AS01-36	Standard 1/2" x 1/2" x 1/2" (3/4" x 3/4" x 3/4")
AS01-37	Standard 1/2" x 1/2" x 1/2" (3/4" x 3/4" x 3/4")
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AS01-39	Standard 1/2" x 1/2" x 1/2" (3/4" x 3/4" x 3/4")
AS01-40	Standard 1/2" x 1/2" x 1/2" (3/4" x 3/4" x 3/4")
AS01-41	Standard 1/2" x 1/2" x 1/2" (3/4" x 3/4" x 3/4")
AS01-42	Standard 1/2" x 1/2" x 1/2" (3/4" x 3/4" x 3/4")
AS01-43	Standard 1/2" x 1/2" x 1/2" (3/4" x 3/4" x 3/4")
AS01-44	Standard 1/2" x 1/2" x 1/2" (3/4" x 3/4" x 3/4")
AS01-45	Standard 1/2" x 1/2" x 1/2" (3/4" x 3/4" x 3/4")
AS01-46	Standard 1/2" x 1/2" x 1/2" (3/4" x 3/4" x 3/4")
AS01-47	Standard 1/2" x 1/2" x 1/2" (3/4" x 3/4" x 3/4")
AS01-48	Standard 1/2" x 1/2" x 1/2" (3/4" x 3/4" x 3/4")
AS01-49	Standard 1/2" x 1/2" x 1/2" (3/4" x 3/4" x 3/4")
AS01-50	Standard 1/2" x 1/2" x 1/2" (3/4" x 3/4" x 3/4")

SAMSUNG SUBMITTAL AM146XVGR/A
Samsung, DVM S2 Series, Heat Recovery Condensing Unit

Job Name: _____ Location: _____
Purchaser: _____ Engineer: _____
Submitted to: _____ Reference: _____ Approval: _____ Construction: _____
Unit Designation: _____ Schedule # _____

Section B-B

View C

Notes

- Detail A and SECTION B-B indicate the dimensions after connecting piping.
- View C indicates knockout hole dimensions (bottom).

No.	Description	Remark
1	Gas refrigerant pipe	1 1/2"
2	High pressure gas refrigerant pipe	7/8"
3	Liquid refrigerant pipe	1/2"
4	Power cord knockout	1 3/8"
5	Communication wire knockout	1 3/8"
6	Knockout for refrigerant piping	Bottom
7	Knockout for refrigerant piping	Front

www.SamsungHVAC.com

6 HEAT RECOVERY UNIT Copy 1
1/4" = 1'-0"

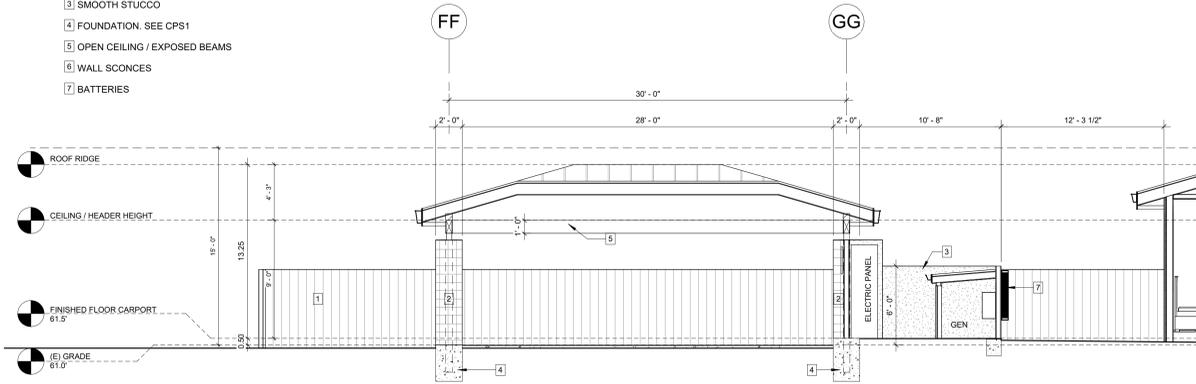
PROPOSED CARPORT FLOOR PLAN & ELEVATIONS 1

Drawing Scale: As indicated
Date: 2024/08/12

AC-1.2

KEYNOTES

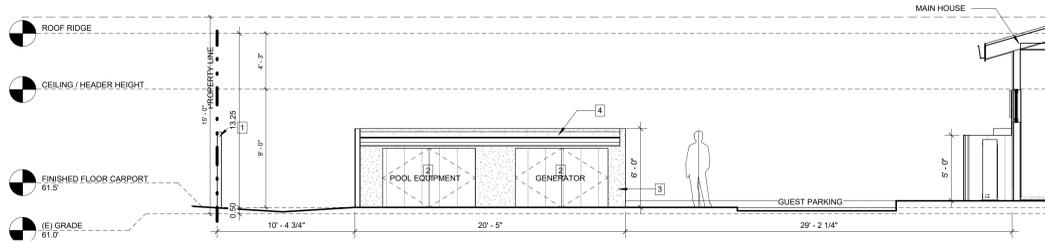
- 1 FENCE BEYOND
- 2 STONE VENEER FINISH
- 3 SMOOTH STUCCO
- 4 FOUNDATION. SEE CPS1
- 5 OPEN CEILING / EXPOSED BEAMS
- 6 WALL SCONCES
- 7 BATTERIES



1 CARPORT SECTION 1 - Dependent 1
3/16" = 1'-0"

KEYNOTES

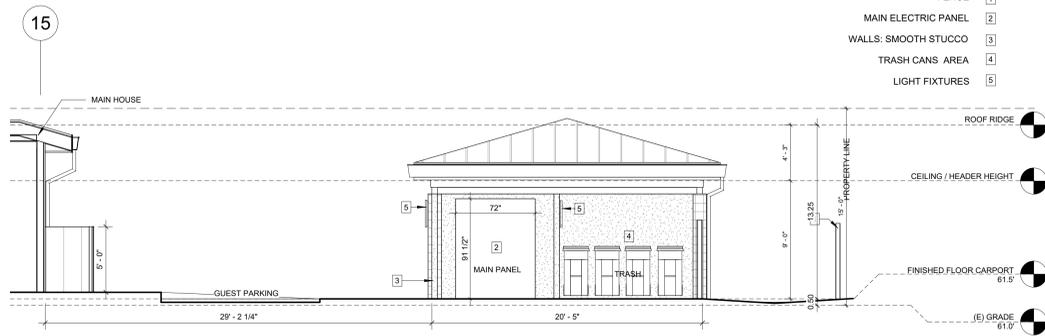
- 1 FENCE
- 2 SOLID CORE DOORS TREATED FOR EXTERIORS
- 3 WALLS: SMOOTH STUCCO
- 4 FOUNDATION. SEE CPS1
- 5 ROOF: TO MATCH CARPORT



3 CARPORT SECTION 3 - Dependent 1
3/16" = 1'-0"

KEYNOTES

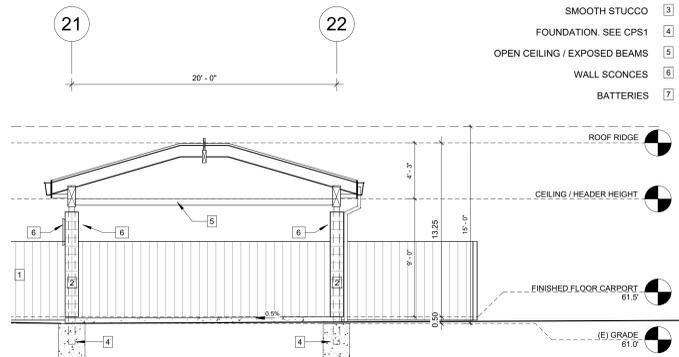
- FENCE 1
- MAIN ELECTRIC PANEL 2
- WALLS: SMOOTH STUCCO 3
- TRASH CANS AREA 4
- LIGHT FIXTURES 5



5 CARPORT SECTION 4
3/16" = 1'-0"

KEYNOTES

- FENCE BEYOND 1
- STONE VENEER FINISH 2
- SMOOTH STUCCO 3
- FOUNDATION. SEE CPS1 4
- OPEN CEILING / EXPOSED BEAMS 5
- WALL SCONCES 6
- BATTERIES 7



4 CARPORT SECTION 2 - Dependent 1
3/16" = 1'-0"

NOTE 1:
A. EXCEPT AS OTHERWISE PERMITTED UNDER THIS CHAPTER, NO PERSON SHALL CAUSE AND NO PROPERTY OWNER SHALL PERMIT ON SUCH OWNERS' PROPERTY, A NOISE PRODUCED BY ANY PERSON, MACHINE, ANIMAL OR DEVICE, OR ANY COMBINATION THEREOF, IN EXCESS OF THE SOUND LEVEL LIMITS SET FORTH IN THIS SECTION TO EMANATE FROM ANY PROPERTY, PUBLIC OR PRIVATE, BEYOND THE PROPERTY LINE. ANY SOUND IN EXCESS OF THE SOUND LEVEL LIMITS SET FORTH IN THIS SECTION SHALL CONSTITUTE A NOISE DISTURBANCE FOR PURPOSES OF DETERMINING SOUND LEVELS. SOUND LEVEL MEASUREMENTS SHALL BE MADE AT ANY LOCATION ON THE RECEIVING PROPERTY. PROFESSIONAL CERTIFICATION OF MEETING THIS REQUIREMENT MAY BE REQUIRED PRIOR TO FINAL INSPECTION. (TOWN OF ATHERTON MUNICIPAL CODE SECTION 8.16.030)

B. SOUND LEVEL LIMITS: 7 A.M. TO 10 P.M. 60 DB(A)10 P.M. TO 7 A.M. 50 DB(A) (TOWN OF ATHERTON MUNICIPAL CODE SECTION 8.16.030)

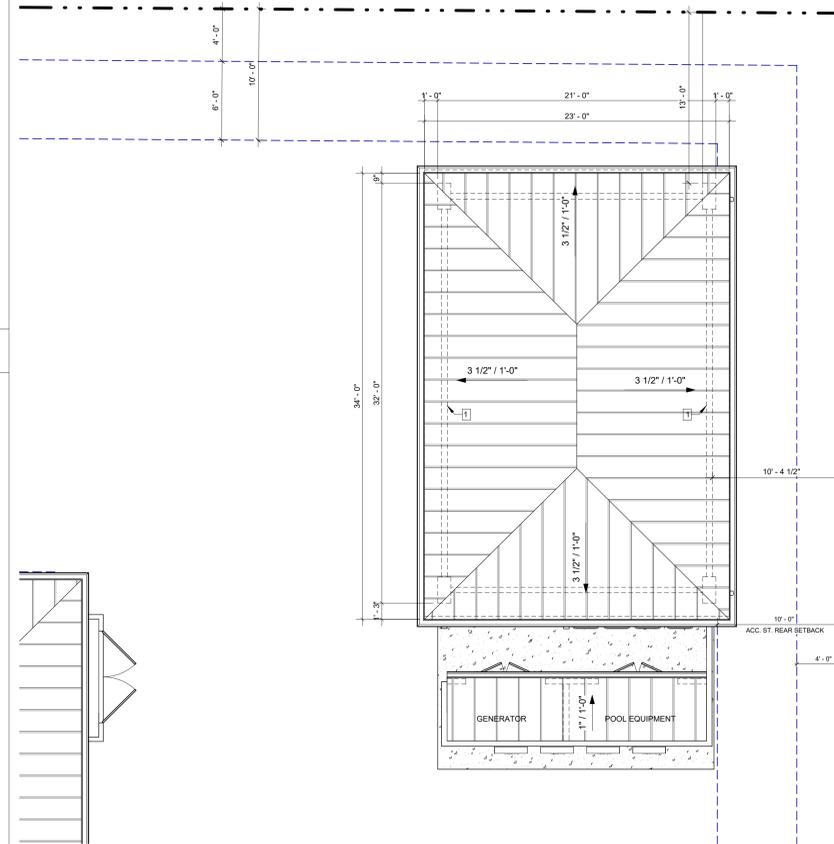
ROOF LEGEND:

- BATHROOM FAN / LAUNDRY FAN TERMINATION CAP
- WHOLE HOUSE FAN VENT
- PLUMBING VENT
- FIREPLACE VENT CAP
- 6" DRYER DUCT TO ROOF TERMINATION SHALL BE MINIMUM 36" TO BUILDING OPENING
- SCUPPER DOWNSPOUT LOCATIONS
- ROOF DRAIN / OVERFLOW
- IN WALL DOWNSPOUT
- RAINCHAIN
- DOWNSPOUT TO BE TIED UP TO UNDERGROUND DRAINAGE

KEYNOTES:

- 1 CARPORT FOOTPRINT

ALL ROOFS ARE CLASS 'A' FIRE-RATED



2 PROPOSED CARPORT ROOF PLAN - Dependent 1
3/16" = 1'-0"

**251 SELBY LN.
ATHERTON CA. 94027**

OWNERS: SHILPI & RAKESH AGRAWAL



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/ 408.726.0017

S. Bhanu

ISSUANCES

No.	Description	Date

Checked By:

Checker

**PROPOSED
CARPORT
ROOF PLAN &
SECTIONS
Copy 1**

Drawing Scale: 3/16" = 1'-0"

Date: 2024/08/12

AC-2.0